

PART 5 ACTIVITY SUBMISSION
at
44 Cadaga Road, GATESHEAD

Lot 499 DP224374

DUAL OCCUPANCY - GENERAL HOUSING

2x 4 BEDROOM



STREET ELEVATION

DRAWING SCHEDULE:

Table with 2 columns: Drawing Title and Drawing Number. Includes Architectural drawings (Cover Page, Site Analysis, Floor Plans, Sections, etc.) and Landscape drawings (Landscape Plan, Details, etc.).

SHADOW DIAGRAMS

Table with 2 columns: Shadowing Details and Drawing Number. Lists shadowing times from 9am to 3pm for various dates and drawing numbers.

LANDSCAPE

Table with 2 columns: Landscape Drawing Title and Drawing Number. Includes Landscape Plan and Details and Specification Notes.

CIVIL

Table with 2 columns: Civil Drawing Title and Drawing Number. Includes Notes & Legend, Typical Details, Ground Stormwater Plan, Roof Stormwater Plan, Driveway Layout Plan, Notes, Legend & Details, and Erosion and Sediment Control Plan.

SURVEY

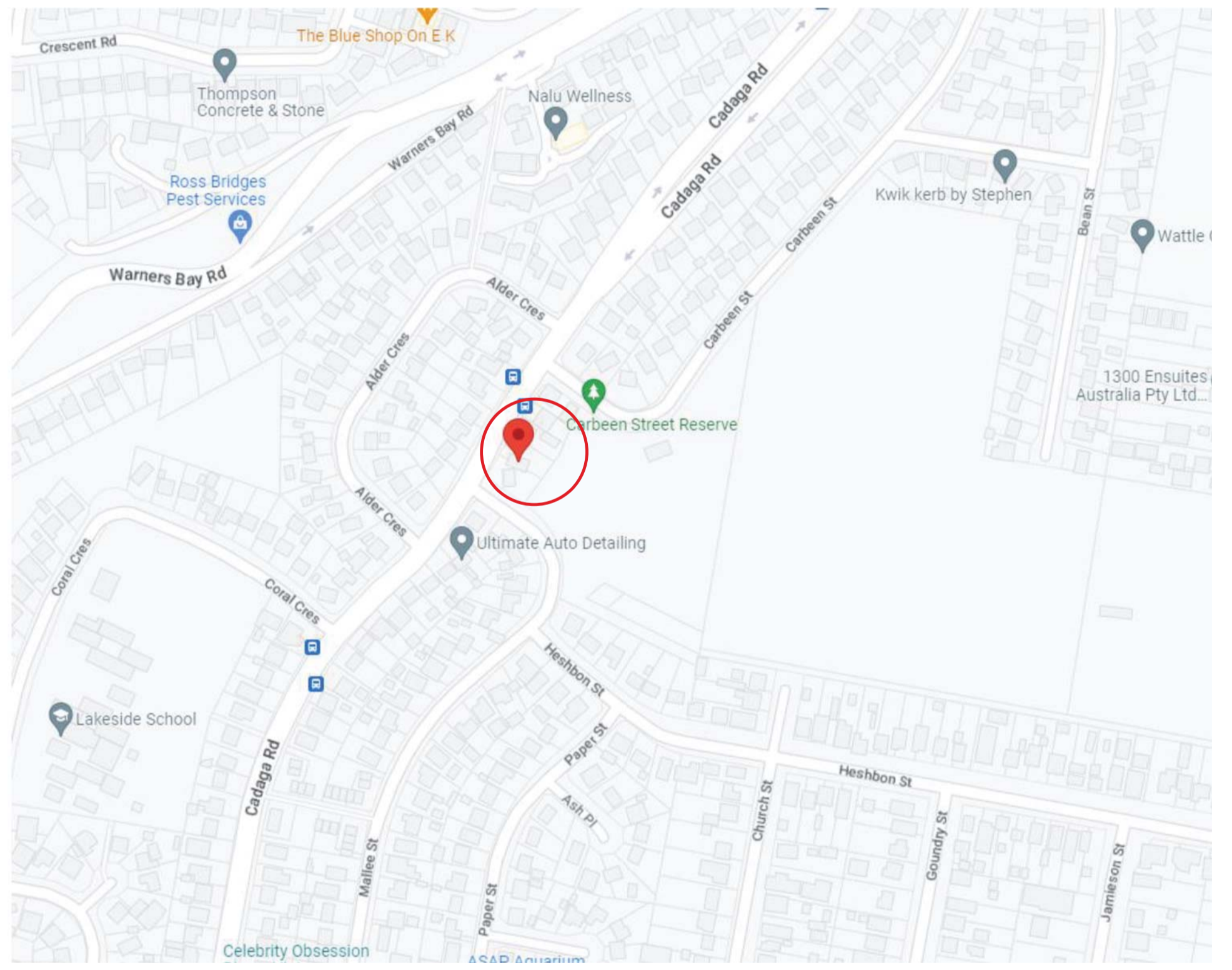
Table with 2 columns: Survey Drawing Title and Drawing Number. Includes Detail Survey and SHEET 1 OF 1.

DEVELOPMENT DATA:

Development Data Table: Dual Occupancy. Includes Job Reference, Locality, Street Address, Lot & DP, Zone, Site Area, Proposed GFA, Accessibility, Dwelling #, Dwellings, Min Pos, Height, and Min Lot Area.

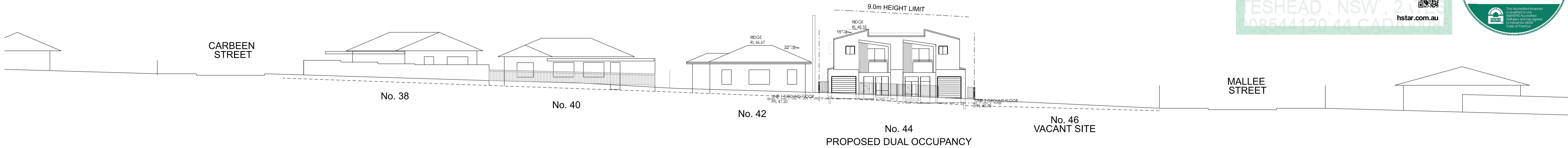
Table with 4 columns: Requirement Category, Code Reference, Description, and Value/Requirement. Includes sections for Min Lot Width, Building Envelope, Max Site Coverage, Setbacks, Parking, Solar Access, Landscaping, Driveway Design, Garages, Roofs, Deep Soil Zone, Waste Management, and LAHC Design Requirements.

LOCATION DIAGRAM:

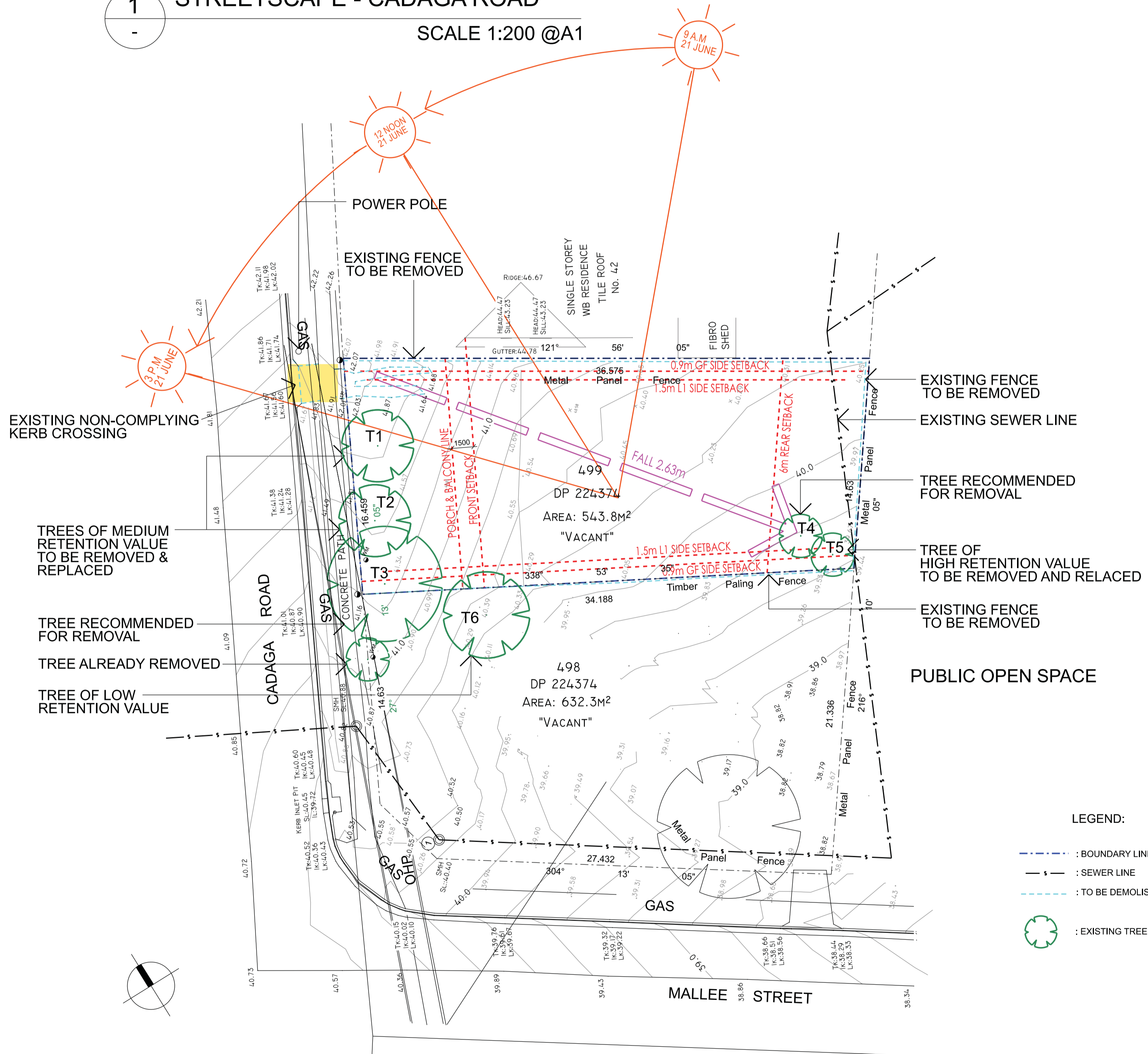


Assessment information including Assessor Rachel Clarke, Accreditation No. 20824, Address 44 Cadaga Road, Gateshead, NSW, 2290, and a QR code linking to hstar.com.au.

ABSA (Australian Building Sustainability Association) logo and accreditation details, including Accreditation Period, Assessor Name, and Assessor Signature.



1 STREETScape - CADAGA ROAD  
SCALE 1:200 @A1



2 SITE ANALYSIS & DEMOLITION PLAN  
SCALE 1:200 @A1


3 BLOCK ANALYSIS



NTS

SCALE BAR

0 1 5 10m



0008544120 05 Apr 2023


Assessor Rachel Clarke

Accreditation No. 20824


Address

44 Cadaga Road, Gateshead,

NSW, 2290



hstar.com.au



Accreditation Period 31/03/2023-31/03/2024

Assessor Name Rachel Clarke

Assessor Number 20824

Assessor Signature

BASIX COMMITMENTS

PER BASIX CERTIFICATE No. 1381125M\_02 and  
NatHERS Certificate No. 0008544120

- External wall
  - cavity brick with 20mm XPS polystyrene insulation to ground floor,
  - fibre cement cladding to first floor
- Windows
  - Awning windows aluminium framed single high solar gain low e glazing: U=5.4, SHGC=0.49
  - Sliding windows and doors and fixed windows aluminium framed single high solar gain low e glazing: U=5.4, SHGC=0.58
- Internal walls
  - plasterboard on studs,
  - cavity brick to party wall
- Floor
  - concrete slab-on-ground to ground floor,
  - framed floor to first floor
- Ceiling plasterboard with R4.0 insulation where adjacent to roof or roof space
- Roof metal roof with R1.0 foil backed insulation blanket,
  - dark colour to ground floor,
  - medium colour to first floor
- 4 star rated taps and toilets suites throughout
- 1200L rainwater tank to each unit, collecting at least 65m<sup>2</sup> of roof area
- Rainwater used for garden irrigation and flushing of all toilets
- 5 star instantaneous gas HWS
- Ceiling fans to living and bedroom areas
- Provide energy efficient lighting (fluoros, compact fluoros & LEDs) throughout
- Electric cooktop & electric oven
- Provide a fixed outdoor clothes line (receives minimum 2hrs sunshine in winter)

LEGEND:

- B : BROOM CUPBOARD  
C : CONCRETE  
CC : COLOURED CONCRETE  
CF : COLORBOND FENCE 2100mm HIGH  
CL : CLOTHES LINE  
CO : COLORBOND ROOF  
CP : CARPET  
CS : CONCRETE SLAB  
CT : CERAMIC TILES  
DP : DOWNPIPES  
F : FRIDGE  
FFL : FINISHED FLOOR LEVEL  
G : GATE TO MATCH FENCE  
GD : GRATED DRAIN  
HR : HANDRAIL  
L : LINEN CUPBOARD  
LB : LETTER BOX  
MF : METAL FENCE 1200mm HIGH  
P : PANTRY  
POS : PRIVATE OPEN SPACE  
PS : PRIVACY SCREEN  
RW : RETAINING WALL - BRICK  
RWT : RAIN WATER TANK  
SK : SKY TUBE  
ST : STORAGE  
T : LAUNDRY TUB  
WR : WARDROBE  
WM : WASHING MACHINE BY TENANT



T#

PER ARBORIST REPORT

TPZ

STRUCTURAL ROOT ZONE

EXISTING TREE TO BE RETAINED

EXISTING TREE TO BE REMOVED

PROPOSED NEW TREE

PER LANDSCAPE PLANS

BOUNDARY LINE

SEWER LINE

2.5 x 2m VISIBILITY TRIANGLES

EXISTING SPOT LEVELS

PROPOSED LEVELS

1

SITE / GROUND FLOOR PLAN

SCALE 1:100 @A1

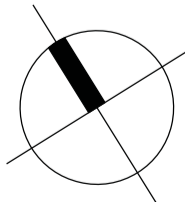
2

FENCE DETAILS

SCALE 1:50 @A1

SCALE BAR

0 1 5 10m



CLIENT:



ARCHITECT:



nominated architect  
Marija Popovic  
reg. no. 8222

m: 0408 637 214

e: marija.popovic@zmparchitects.com.au

REV	DATE	FOR DA SUBMISSION
A	05/04/23	FOR DA SUBMISSION
B	05/04/23	NOTATION/AMENDMENT
C	05/04/23	NOTATION/AMENDMENT
D	05/04/23	NOTATION/AMENDMENT
E	05/04/23	NOTATION/AMENDMENT
F	05/04/23	NOTATION/AMENDMENT
G	05/04/23	NOTATION/AMENDMENT
H	05/04/23	NOTATION/AMENDMENT
I	05/04/23	NOTATION/AMENDMENT
J	05/04/23	NOTATION/AMENDMENT
K	05/04/23	NOTATION/AMENDMENT
L	05/04/23	NOTATION/AMENDMENT
M	05/04/23	NOTATION/AMENDMENT
N	05/04/23	NOTATION/AMENDMENT
O	05/04/23	NOTATION/AMENDMENT
P	05/04/23	NOTATION/AMENDMENT
Q	05/04/23	NOTATION/AMENDMENT
R	05/04/23	NOTATION/AMENDMENT
S	05/04/23	NOTATION/AMENDMENT
T	05/04/23	NOTATION/AMENDMENT
U	05/04/23	NOTATION/AMENDMENT
V	05/04/23	NOTATION/AMENDMENT
W	05/04/23	NOTATION/AMENDMENT
X	05/04/23	NOTATION/AMENDMENT
Y	05/04/23	NOTATION/AMENDMENT
Z	05/04/23	NOTATION/AMENDMENT

PROJECT MANAGER

NSW LAND AND HOUSING  
CORPORATION

LANDSCAPE ARCHITECT

GREENLAND DESIGN  
0403 164 198

STORMWATER/CIVIL ENGINEER

JONES NICHOLSON PTY LTD  
9521 3088

BASIX CONSULTANT

BUILDING SUSTAINABILITY  
0418 811 858

PROJECT:

**DUAL OCCUPANCY DEVELOPMENT**  
at  
44 Cadaga Road, GATESHEAD  
Lot 499 DP224374

TITLE:

**SITE/ GROUND FLOOR PLAN  
& FENCE DETAILS**

STAGE:

DEVELOPMENT APPLICATION

DATE:

FEB 23

DRAWN:

DA-03

SHEET:

03

SCALE:

1 : 100 @ A1

PROJECT NO.

BGYQW

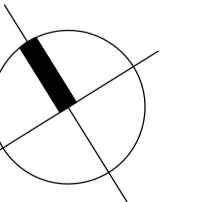
DRAWN:

MP

TYPE:

A

BC	BROOM CUPBOARD
CC	CONCRETE
CL	COLORBOND CONCRETE
CL	COLORBOND FENCE 2100mm HIGH
CL	CLOTHES LINE
CO	CORONADO ROOF
CP	CARPET
CS	CONCRETE SLAB
CT	CERAMIC TILES
DP	DOWNPIPES
FR	FRIDGE
FFFL	FINISHED FLOOR LEVEL
GC	GRASS TO MATCH FENCE
GD	GRADED DRAIN
HR	HANDRAIL
LC	LINEN CUPBOARD
LB	LETTER BOX
MF	METAL FENCE 1200mm HIGH
PO	POST
POS	PRIVATE OPEN SPACE
PS	PRIVACY SCREEN
RW	RETAINING WALL - BRICK
RW	RAIN WATER TANK
SK	SKY TUBE
ST	STORAGE
TL	TOILET
WR	WARDROBE
WMR	WASHING MACHINE BY TENANT



**ABSA**  
Australian Building  
Sustainability Association

Assessments completed within the accreditation  
period are part of the ABSA quality audit system

**Accreditation Period:** 31/03/2023-31/03/2024

**Assessment Name:** Rachel Clarke

**Assessment Number:** 20824

**Assessment Signature:** *R. H. Clarke*

 This Accredited Assessor is  
a fully qualified  
**NATHERS** Accredited  
Builder and is  
committed to following ABSA  
Code of Practice

<div> NSW GOVERNMENT</div>	ARCHITECT:		ARCHITECTS & HERITAGE CONSULTANTS		PROJECT MANAGER	STORMWATER/CIVIL ENGINEER	<div>PROJECT</div> <div>DUAL OCCUPANCY DEVELOPMENT</div> <div>at</div> <div>44 Cadaga Road, GATESHEAD</div> <div>Lot 499 DP224374</div>	<div>TITLE:</div> <div>FIRST FLOOR &amp; ROOF PLAN</div>	STAGE: DEVELOPMENT APPLICATION	
	nominated architect Marija Popovic reg. no. 8222 e: marija.popovic@zmparchitects.com.au m: 0408 637 214		NSW LAND AND HOUSING CORPORATION		JONES NICHOLSON PTY LTD 9521 3088				PROJECT NO.	
	A 05/04/23 FOR DA SUBMISSION		LANDSCAPE ARCHITECT		BASIN CONSULTANT				DRAWING NO.	
	REV DATE NOTATION/AMENDMENT		GREENLAND DESIGN		BUILDING SUSTAINABILITY				DRAWN	
		DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		0403 164 198		0418 811 858		BGYQW		
								SHEET: 04		
								TYPE: A		



BL : BALUSTRADE  
BW : BLOCK WALL  
CL : CEILING LEVEL  
CO : COLORBOND ROOF  
CF : COLORBOND FENCE 2100mm HIGH  
FB : FACE BRICK  
FC : FIBRE CEMENT CLADDING  
FCL : FINISHED FLOOR LEVEL  
MF : METAL FENCE 1200mm HIGH  
NT : NEW TREE  
P : PAINT FINISH  
POS : PRIVATE OPEN SPACE  
PS : PRIVACY SCREEN  
R : ROLLER DOOR  
RWT : RAIN WATER TANK  
SK : SKY TUBE  
T# : THREE NUMBER PER ARBORIST REPORT  
TOW : TOP OF RETAINING WALL  
WH : WINDOW HOOD



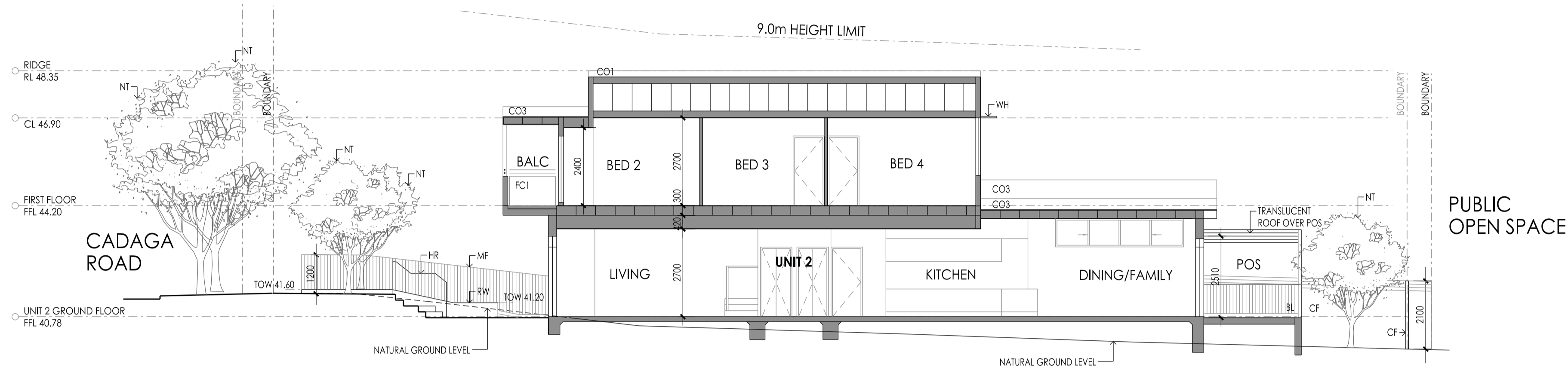
STORMWATER/CIVIL ENGINEER	JONES NICHOLSON PTY LTD 9521 3088
BASIX CONSULTANT	BUILDING SUSTAINABILITY 0418 811 858

PROJECT: **DUAL OCCUPANCY DEVELOPMENT**  
at  
44 Cadaga Road, GATESHEAD  
Lot 499 DP224374

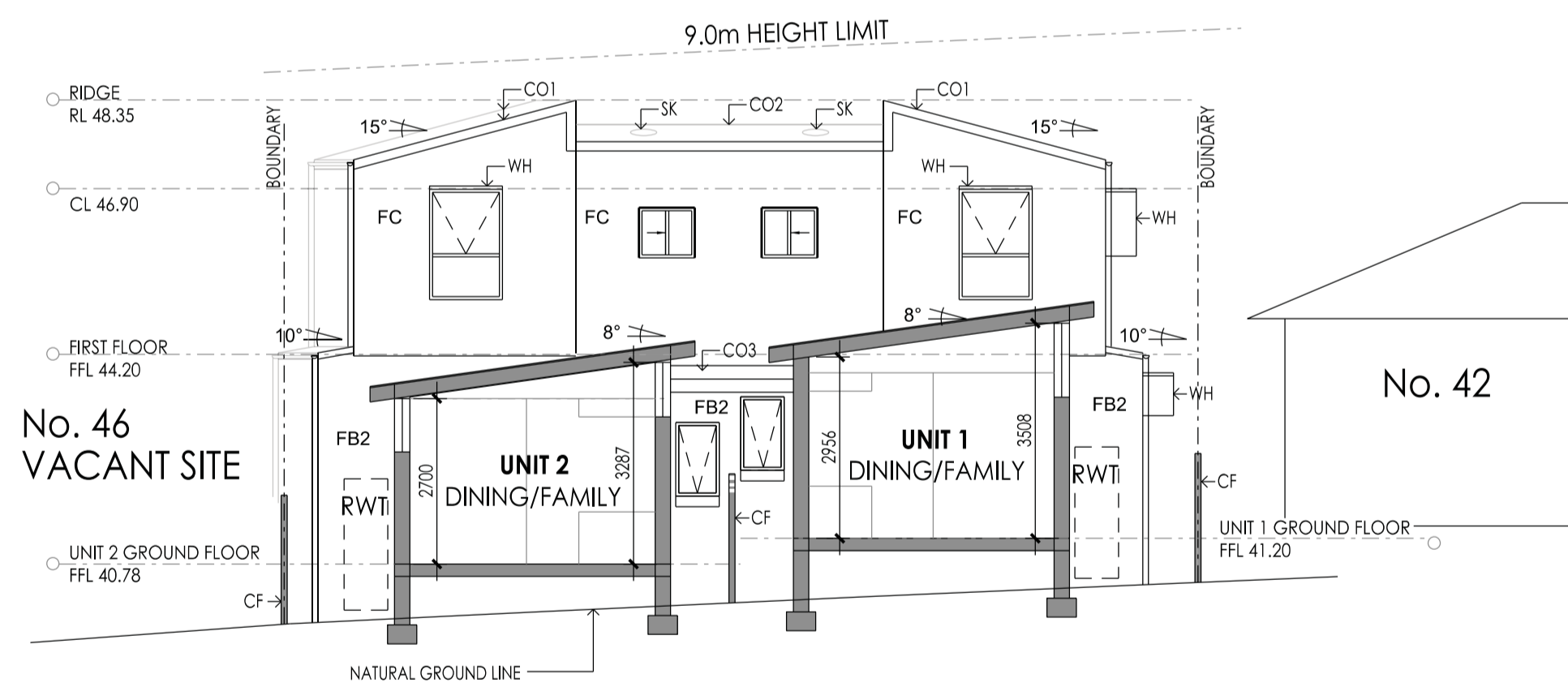
TITLE:

**ELEVATIONS**

STAGE:		
DEVELOPMENT APPLICATION		
DATE: FEB 23	SCALE: 1 : 100 @ A1	PROJECT NO.
DRWG NO: DA-05	DRAWN: MP	BGYQW
SHEET: 05		TYPE: A



1 SECTION 1  
SCALE 1:100 @A1

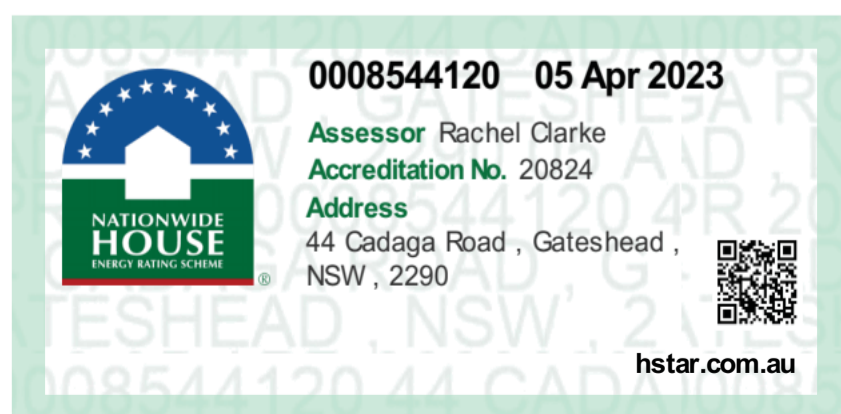
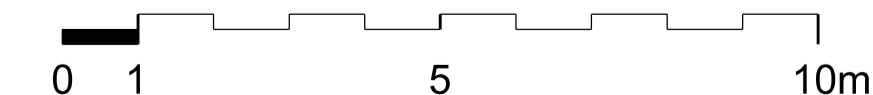


2 SECTION 2  
SCALE 1:100 @A1

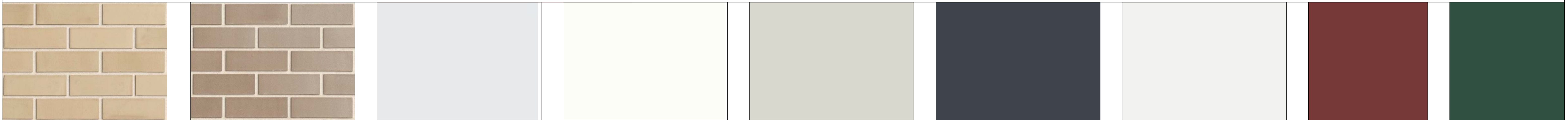
LEGEND:

BL	: BALUSTRADE
BW	: BLOCK WALL
CL	: CEILING LEVEL
CO	: COLORBOND ROOF
CF	: COLORBOND FENCE 2100mm HIGH
FB	: FACE BRICK
FC	: FIBRE CEMENT CLADDING
FFL	: FINISHED FLOOR LEVEL
MF	: METAL FENCE 1200mm HIGH
NT	: NEW TREE
P	: PAINT FINISH
POS	: PRIVATE OPEN SPACE
PS	: PRIVACY SCREEN
RD	: ROLLER DOOR
RWT	: RAIN WATER TANK
SK	: SKY TUBE
T#	: TREE NUMBER PER ARBORIST REPORT
TOW	: TOP OF RETAINING WALL
WH	: WINDOW HOOD

SCALE BAR



CLIENT: 	ARCHITECT:  nominated architect Marija Popovic reg. no. 8222 m: 0408 637 214 e: marija.popovic@zmparchitects.com.au	PROJECT MANAGER NSW LAND and HOUSING CORPORATION LANDSCAPE ARCHITECT GREENLAND DESIGN 0403 164 198	STORMWATER/CIVIL ENGINEER JONES NICHOLSON PTY LTD 9521 3088 BASIS CONSULTANT BUILDING SUSTAINABILITY 0418 811 858	PROJECT: <b>DUAL OCCUPANCY DEVELOPMENT</b> at <b>44 Cadaga Road, GATESHEAD</b> Lot 499 DP224374	TITLE: <b>SECTIONS</b>	STAGE: <b>DEVELOPMENT APPLICATION</b>	
						DATE: <b>FEB 23</b> DRAWN: <b>DA-06</b> SHEET: <b>06</b>	SCALE: <b>1 : 100 @ A1</b> DRAWN: <b>MP</b> TYPE: <b>A</b>



FB1

FB2

FC

CO1, WH

CO2

CO3, PS, RD,  
FC1, AL, MF, CF

P1

P2

P3

FB1 - Face brick  
PGH Smooth Perl Grey

FB2 - Face brick  
PGH Smooth Mineral

FC - Fibre Cement  
Cladding  
James Hardie -  
Axon 300mm boards  
Dulux Lexicon

CO1 - Colorbond  
Dover White  
WH - Window hood,  
aluminium powder  
coated finish

CO1 - Colorbond  
Surfmist

CO3 - Colorbond Ironstone  
VS - Vertical privacy screen,  
aluminium powder coated finish  
RD - Roller door  
FC1 - Pre-painted Fibre Cement  
AL - Aluminium window &  
sliding door frame  
MF - Front metal fence  
CF - Side and rear colorbond fence

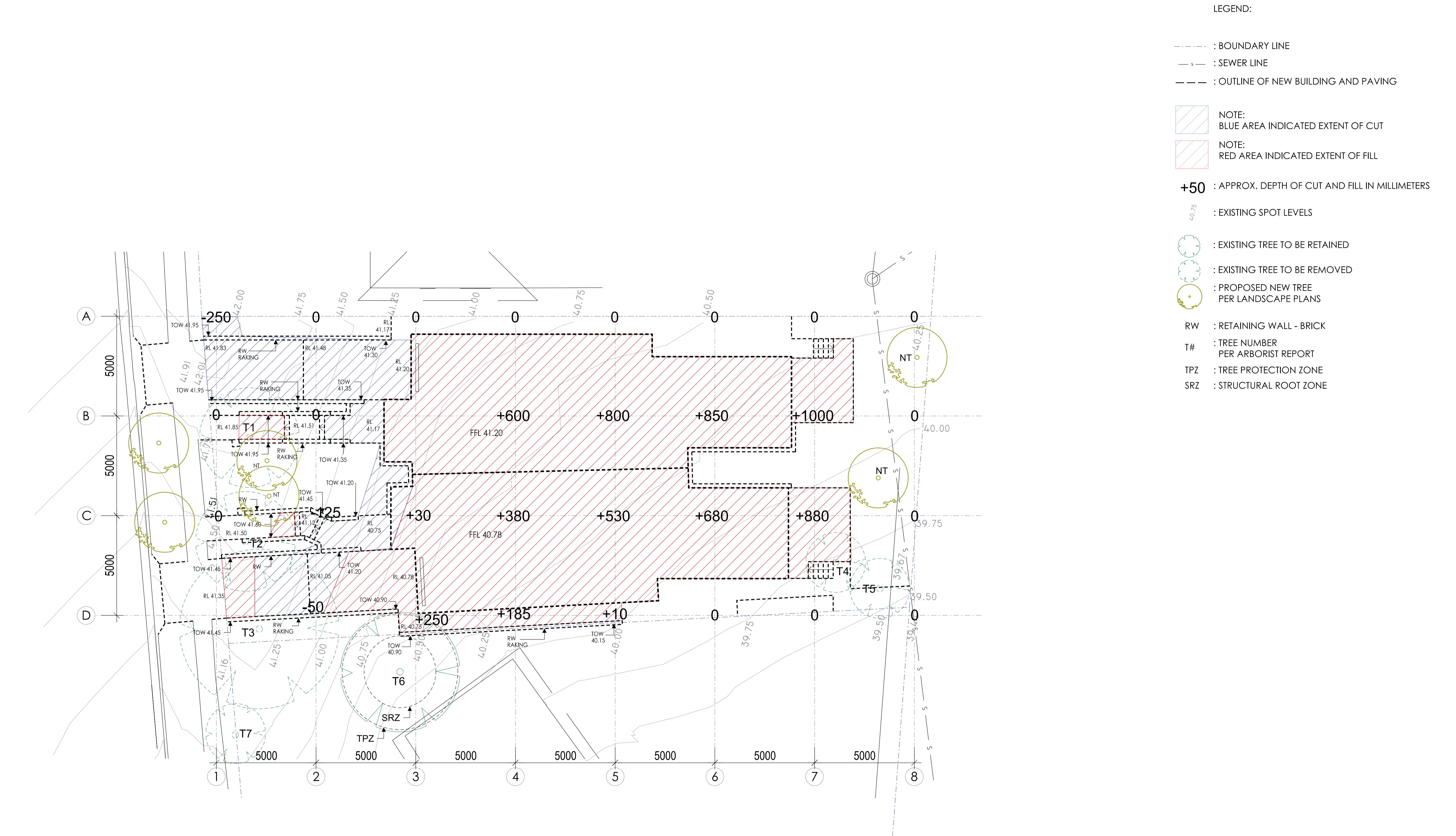
P1 - Dulux  
Lexicon Quarter

P2 - Dulux  
Belly Fire

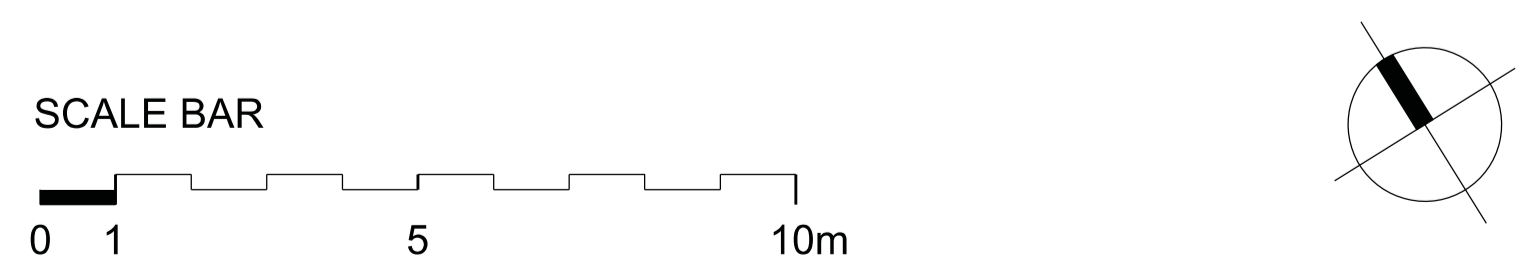
P2 - Dulux  
Highland Green

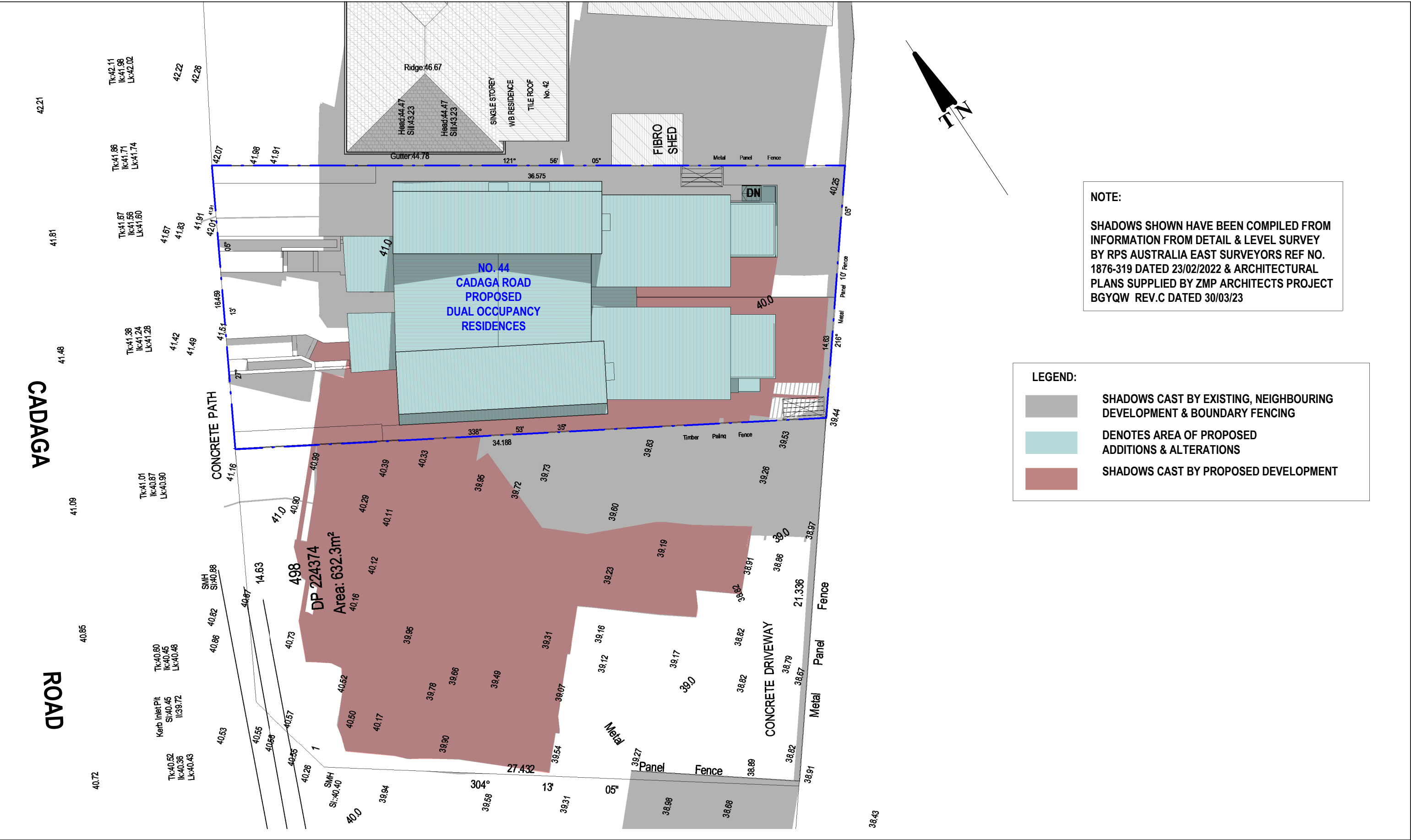


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						DATE: <b>FEB 23</b> DRAWING NO: <b>DA-07</b> SHEET: <b>07</b>	SCALE: <b>1 : 100 @ A1</b> DRAWN: <b>MP</b> TYPE: <b>A</b>



1 CUT & FILL AND RETAINING WALLS SITE PLAN  
SCALE 1:100 @A1





NOTE:

SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL & LEVEL SURVEY BY RPS AUSTRALIA EAST SURVEYORS REF NO. 1876-319 DATED 23/02/2022 & ARCHITECTURAL PLANS SUPPLIED BY ZMP ARCHITECTS PROJECT BGYQW REV.C DATED 30/03/23

LEGEND:

- SHADOWS CAST BY EXISTING, NEIGHBOURING DEVELOPMENT & BOUNDARY FENCING
- DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
- SHADOWS CAST BY PROPOSED DEVELOPMENT

Cad Draft P/L

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

MOBILE: 0410 699919

info@caddraftnsw.com.au

No.	Description	Date

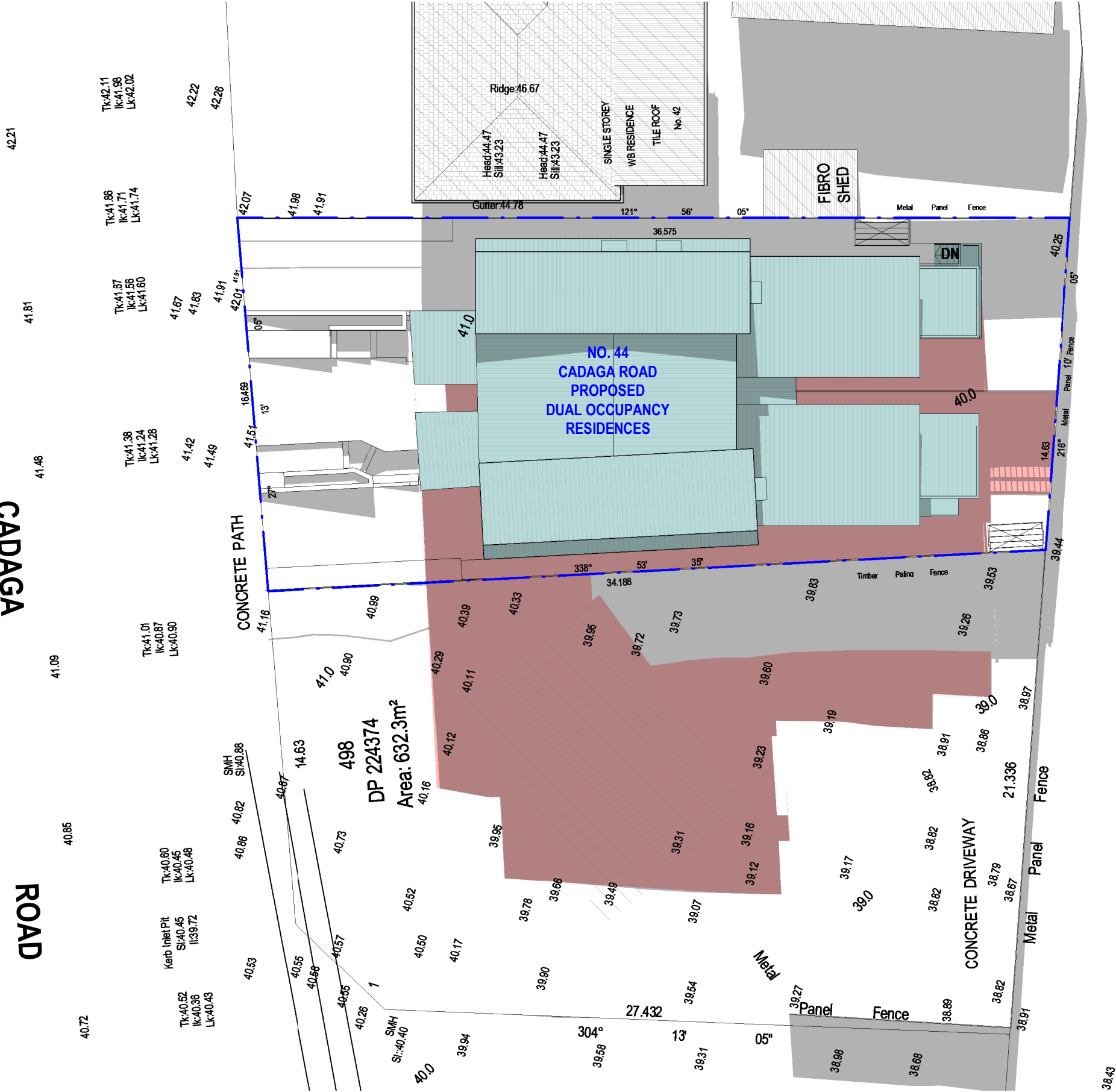
SHADOW DIAGRAMS  
DUAL OCCUPANCY  
No. 44 CADAGA ROAD  
GATESHEAD

CLIENT: C/- ZMP ARCHITECTS

Shadowing June 21st 9.00am

Project number	23-20	A100
Date	3-4-23	
Drawn by	KP	
Checked by	JD	Scale
		1 : 200

CADAGA ROAD



NOTE:  
SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL & LEVEL SURVEY BY RPS AUSTRALIA EAST SURVEYORS REF NO. 1876-319 DATED 23/02/2022 & ARCHITECTURAL PLANS SUPPLIED BY ZMP ARCHITECTS PROJECT BGYQW REV.C DATED 30/03/23

- LEGEND:
- SHADOWS CAST BY EXISTING, NEIGHBOURING DEVELOPMENT & BOUNDARY FENCING
  - DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
  - SHADOWS CAST BY PROPOSED DEVELOPMENT

Cad Draft P/L

ABN 27 083 288 153  
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SHADOW ANALYSIS CONSULTANTS  
MOBILE: 0410 699919  
info@caddraftnsw.com.au

No.	Description	Date

SHADOW DIAGRAMS  
DUAL OCCUPANCY  
No. 44 CADAGA ROAD  
GATESHEAD  
CLIENT: C/- ZMP ARCHITECTS

Shading June 21st 10.00am

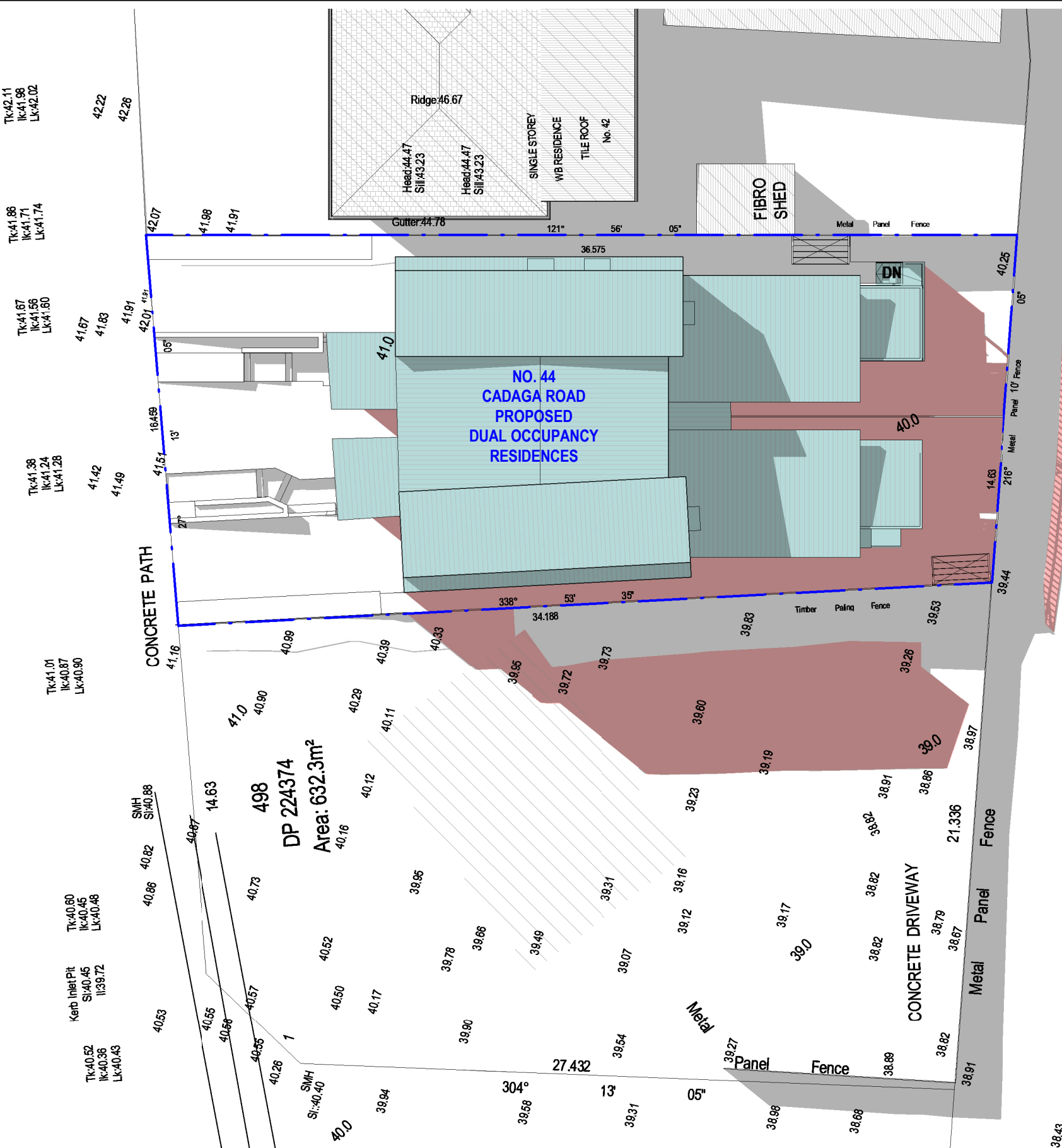
Project number	23-20	A101
Date	3-4-23	
Drawn by	KP	
Checked by	JD	Scale
		1 : 200





CADAGA

ROAD



NOTE:

SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL & LEVEL SURVEY BY RPS AUSTRALIA EAST SURVEYORS REF NO. 1876-319 DATED 23/02/2022 & ARCHITECTURAL PLANS SUPPLIED BY ZMP ARCHITECTS PROJECT BGYQW REV.C DATED 30/03/23

LEGEND:

- SHADOWS CAST BY EXISTING, NEIGHBOURING DEVELOPMENT & BOUNDARY FENCING
- DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
- SHADOWS CAST BY PROPOSED DEVELOPMENT

Cad Draft P/L

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

MOBILE: 0410 699919

info@caddraftnsw.com.au

No.	Description	Date

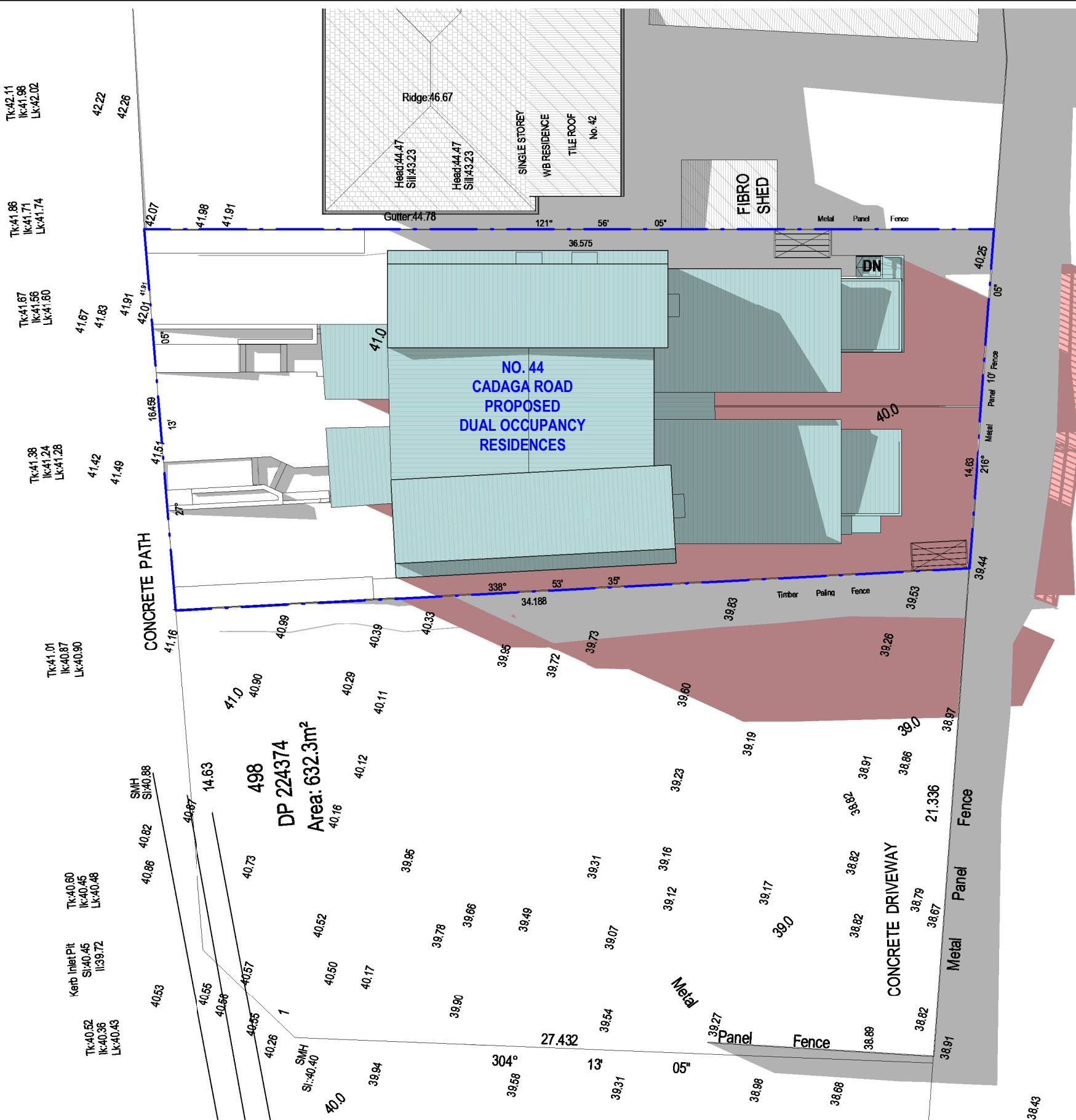
SHADOW DIAGRAMS  
DUAL OCCUPANCY  
No. 44 CADAGA ROAD  
GATESHEAD

CLIENT: C/- ZMP ARCHITECTS

Shading June 21st 1.00pm

Project number	23-20	A104
Date	3-4-23	
Drawn by	KP	
Checked by	JD	Scale
		1 : 200

CADAGA ROAD



NOTE:

SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL & LEVEL SURVEY BY RPS AUSTRALIA EAST SURVEYORS REF NO. 1876-319 DATED 23/02/2022 & ARCHITECTURAL PLANS SUPPLIED BY ZMP ARCHITECTS PROJECT BGYQW REV.C DATED 30/03/23

LEGEND:

- SHADOWS CAST BY EXISTING, NEIGHBOURING DEVELOPMENT & BOUNDARY FENCING
- DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS
- SHADOWS CAST BY PROPOSED DEVELOPMENT

Cad Draft P/L

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

MOBILE: 0410 699919

info@caddraftnsw.com.au

No.	Description	Date

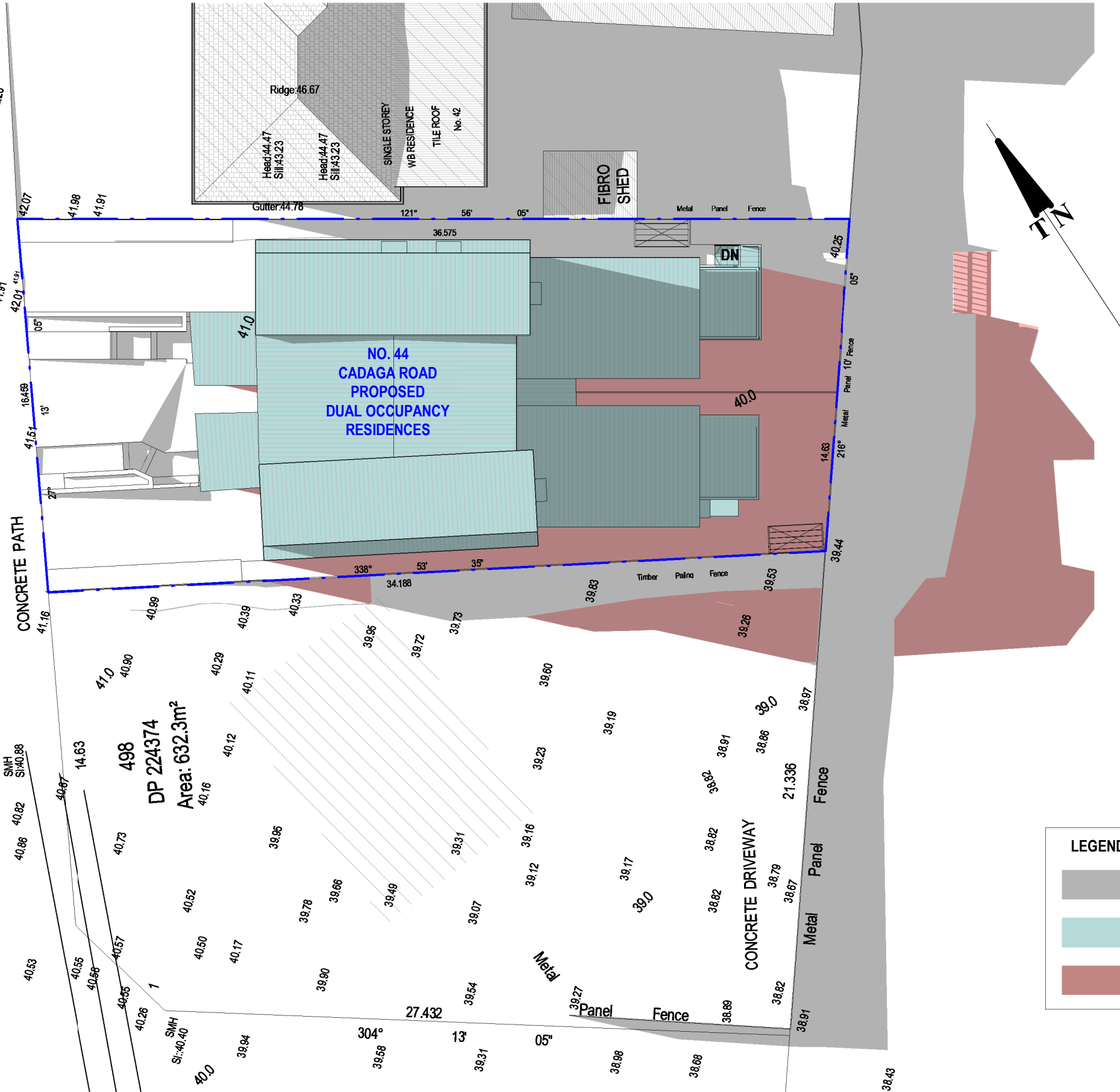
SHADOW DIAGRAMS  
DUAL OCCUPANCY  
No. 44 CADAGA ROAD  
GATESHEAD

CLIENT: C/- ZMP ARCHITECTS

Shading June 21st 2.00pm

Project number	23-20	A105
Date	3-4-23	
Drawn by	KP	
Checked by	JD	Scale
		1 : 200

CADAGA ROAD



NOTE:

SHADOWS SHOWN HAVE BEEN COMPILED FROM INFORMATION FROM DETAIL & LEVEL SURVEY BY RPS AUSTRALIA EAST SURVEYORS REF NO. 1876-319 DATED 23/02/2022 & ARCHITECTURAL PLANS SUPPLIED BY ZMP ARCHITECTS PROJECT BGYQW REV.C DATED 30/03/23

LEGEND:



SHADOWS CAST BY EXISTING, NEIGHBOURING DEVELOPMENT & BOUNDARY FENCING



DENOTES AREA OF PROPOSED ADDITIONS & ALTERATIONS



SHADOWS CAST BY PROPOSED DEVELOPMENT

Cad Draft P/L

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

MOBILE: 0410 699919

info@caddraftnsw.com.au

No.	Description	Date

SHADOW DIAGRAMS  
DUAL OCCUPANCY  
No. 44 CADAGA ROAD  
GATESHEAD

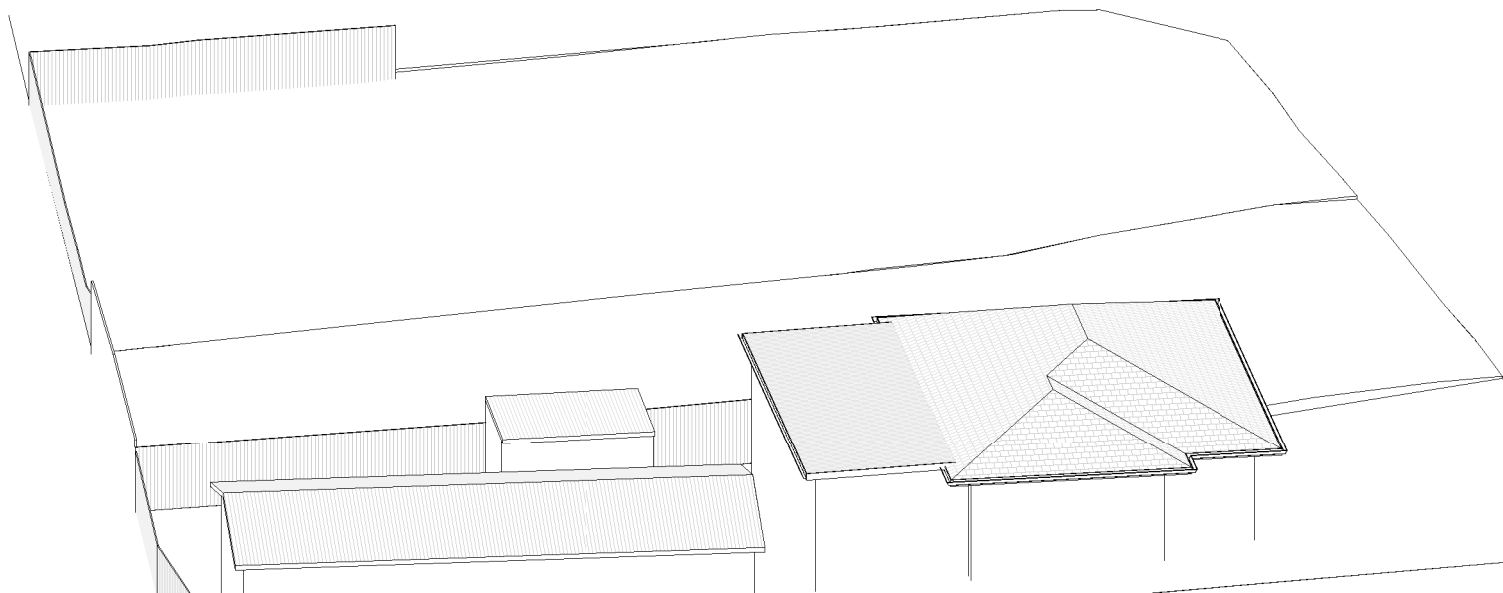
CLIENT: C/- ZMP ARCHITECTS

Shading June 21st 3.00pm

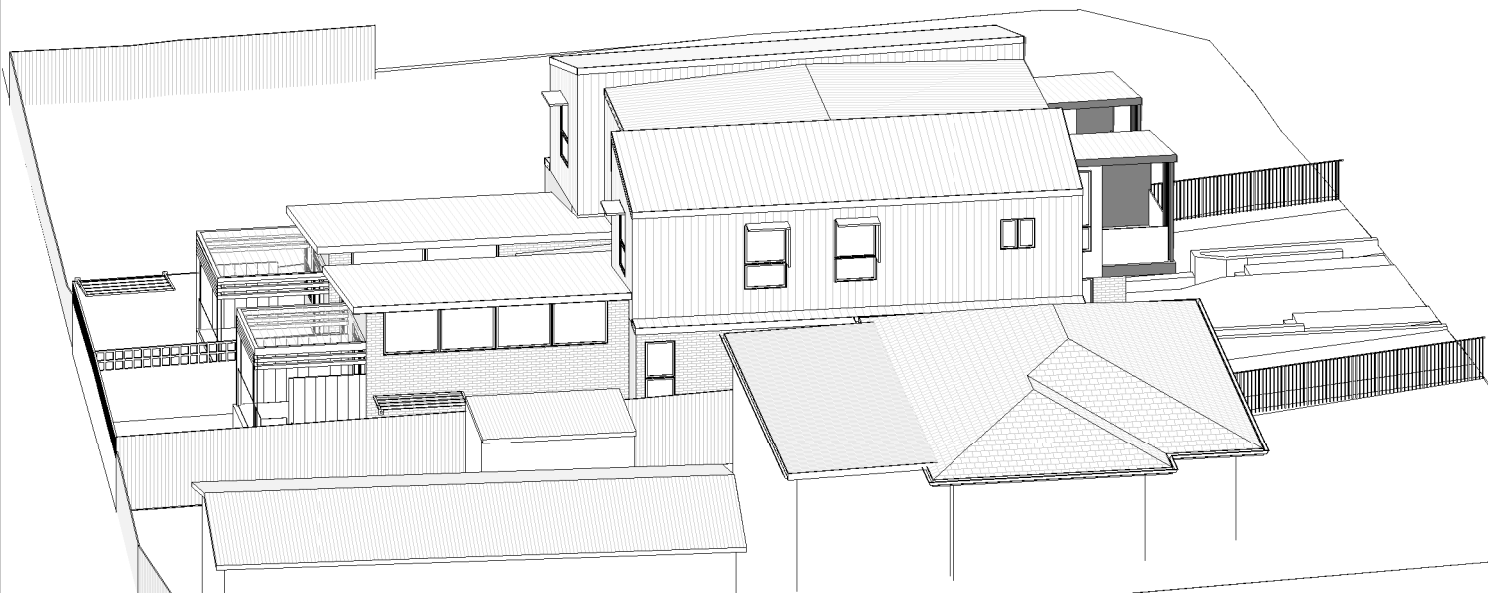
Project number	23-20
Date	3-4-23
Drawn by	KP
Checked by	JD

A106

Scale 1 : 200



June 21st 9.00am Existing



June 21st 9.00am Proposed

**Cad Draft P/L**

ABN 27 083 288 153  
SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

MOBILE: 0410 699919  
info@caddraftnsw.com.au

No.	Description	Date

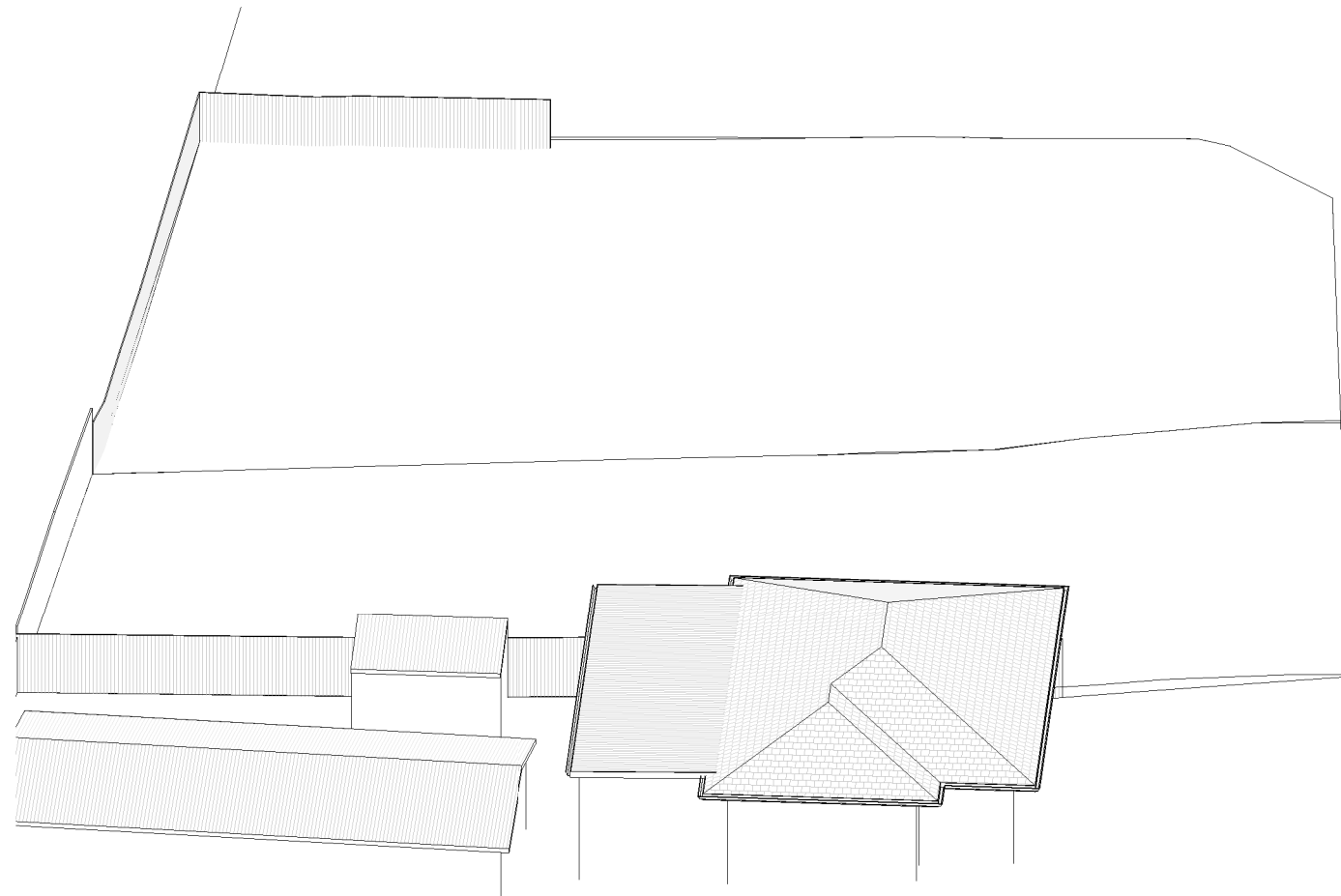
SHADOW DIAGRAMS  
DUAL OCCUPANCY  
No. 44 CADAGA ROAD  
GATESHEAD

CLIENT: C/- ZMP ARCHITECTS

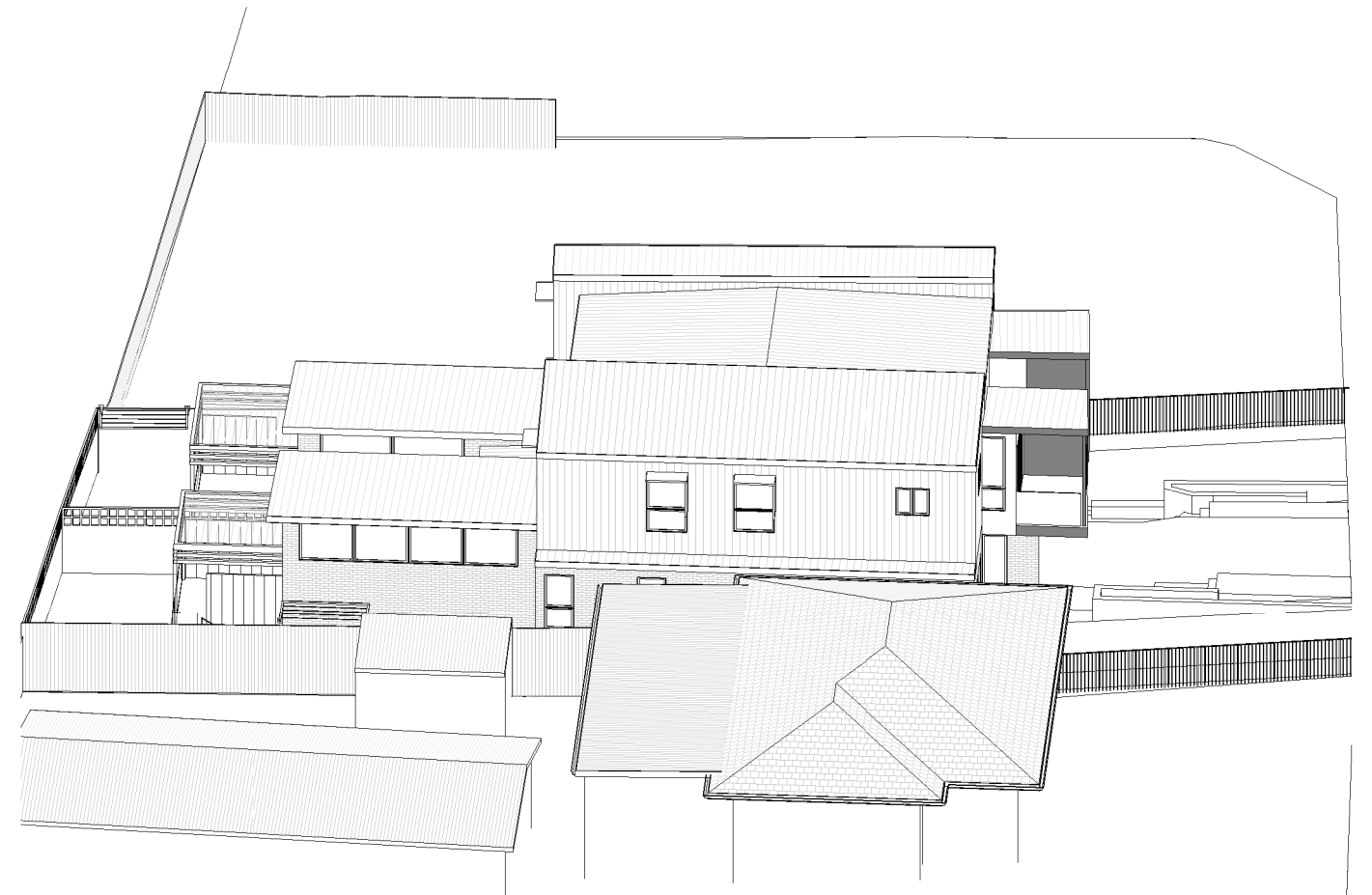
**3D Sun Views June 21st 9.00am**

Project number	23-20
Date	3-4-23
Drawn by	KP
Checked by	JD

<b>A107</b>	
Scale	



June 21st 10.00am Existing



June 21st 10.00am Proposed

**Cad Draft P/L**

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

MOBILE: 0410 699919

info@caddraftnsw.com.au

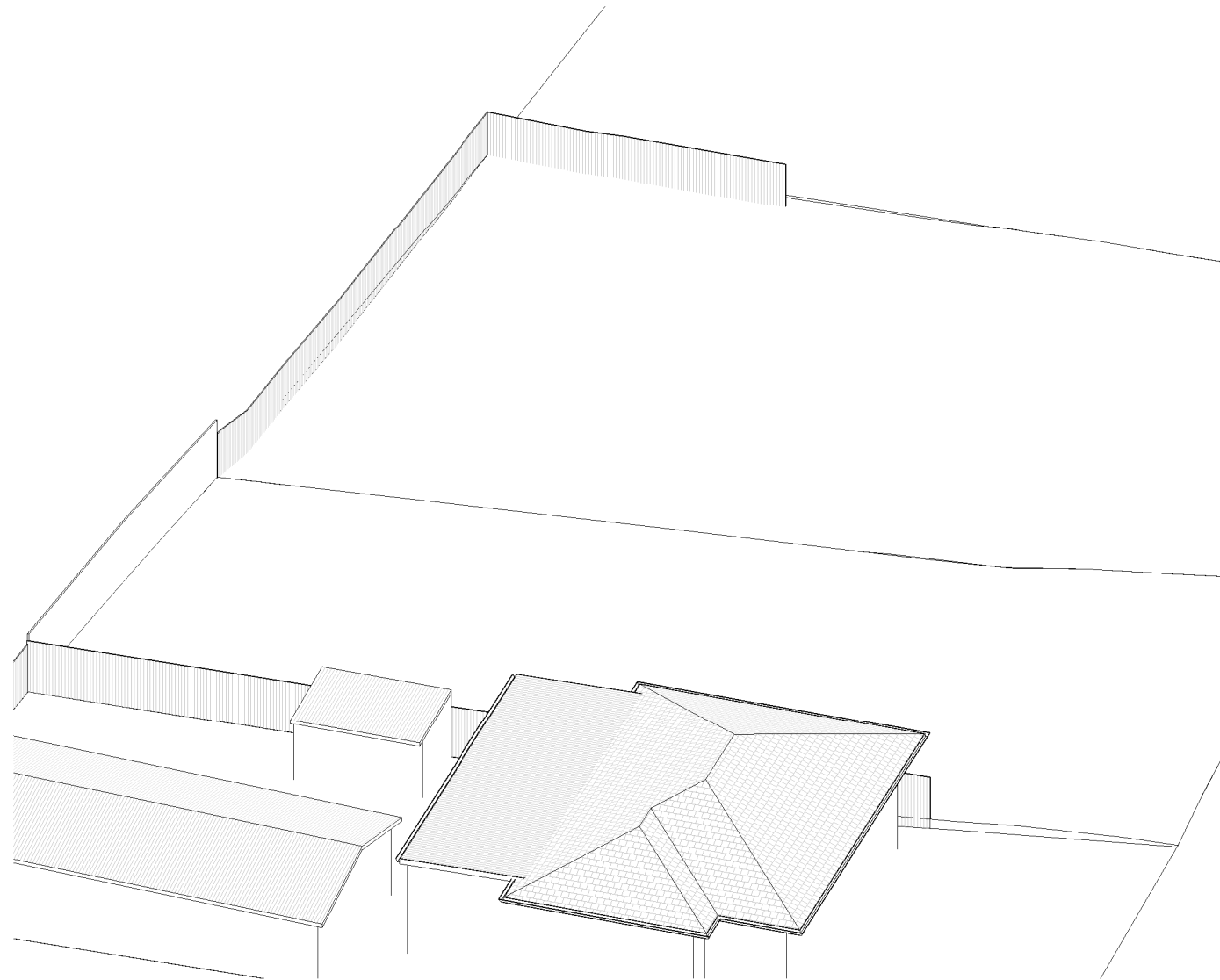
No.	Description	Date

SHADOW DIAGRAMS  
DUAL OCCUPANCY  
No. 44 CADAGA ROAD  
GATESHEAD

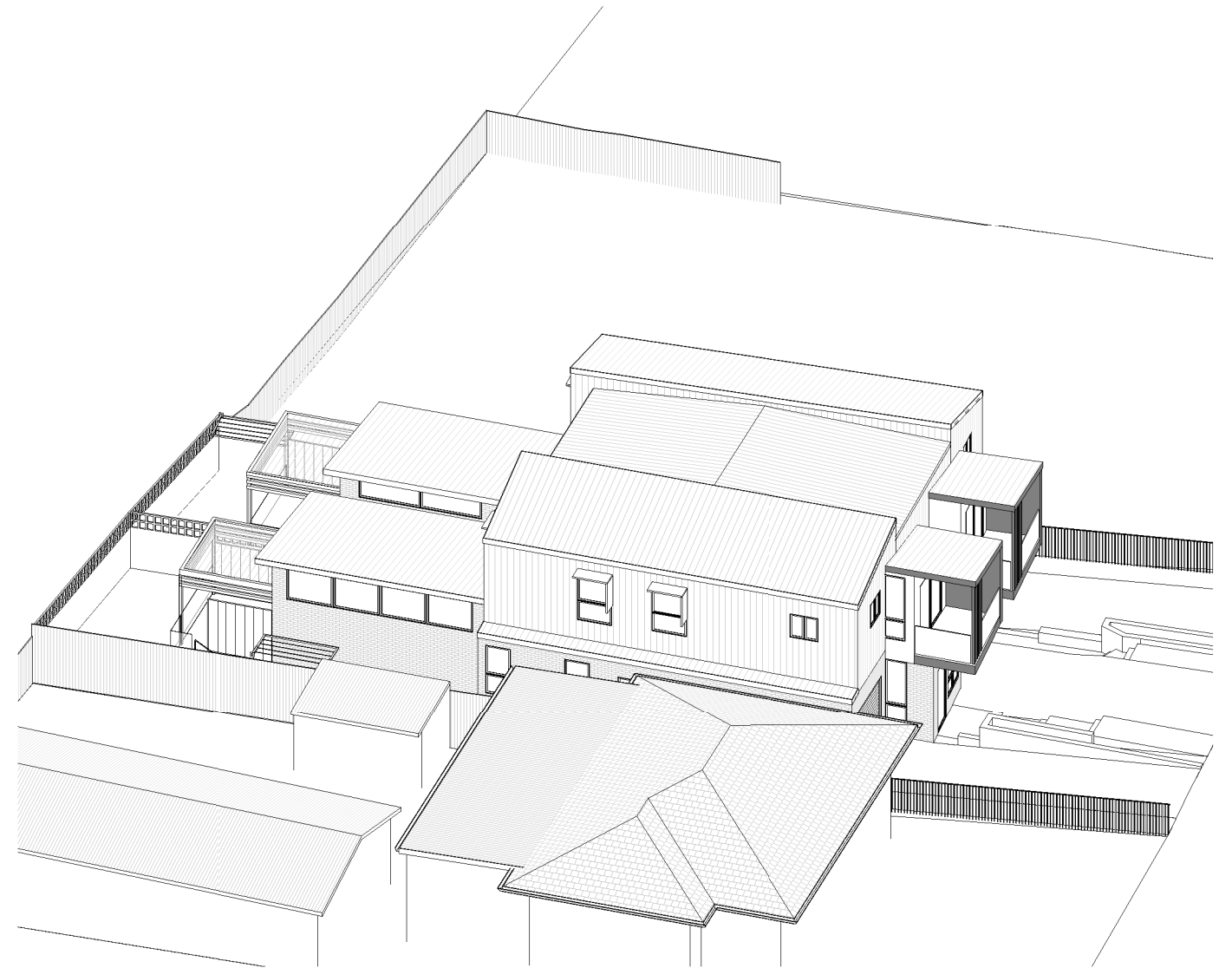
CLIENT: C/- ZMP ARCHITECTS

**3D Sun Views June 21st 10.00am**

Project number	23-20	<b>A108</b>
Date	3-4-23	
Drawn by	KP	
Checked by	JD	Scale



**June 21st 11.00am Existing**



**June 21st 11.00am Proposed**

**Cad Draft P/L**

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

MOBILE: 0410 699919

info@caddraftnsw.com.au

No.	Description	Date

SHADOW DIAGRAMS  
DUAL OCCUPANCY  
No. 44 CADAGA ROAD  
GATESHEAD

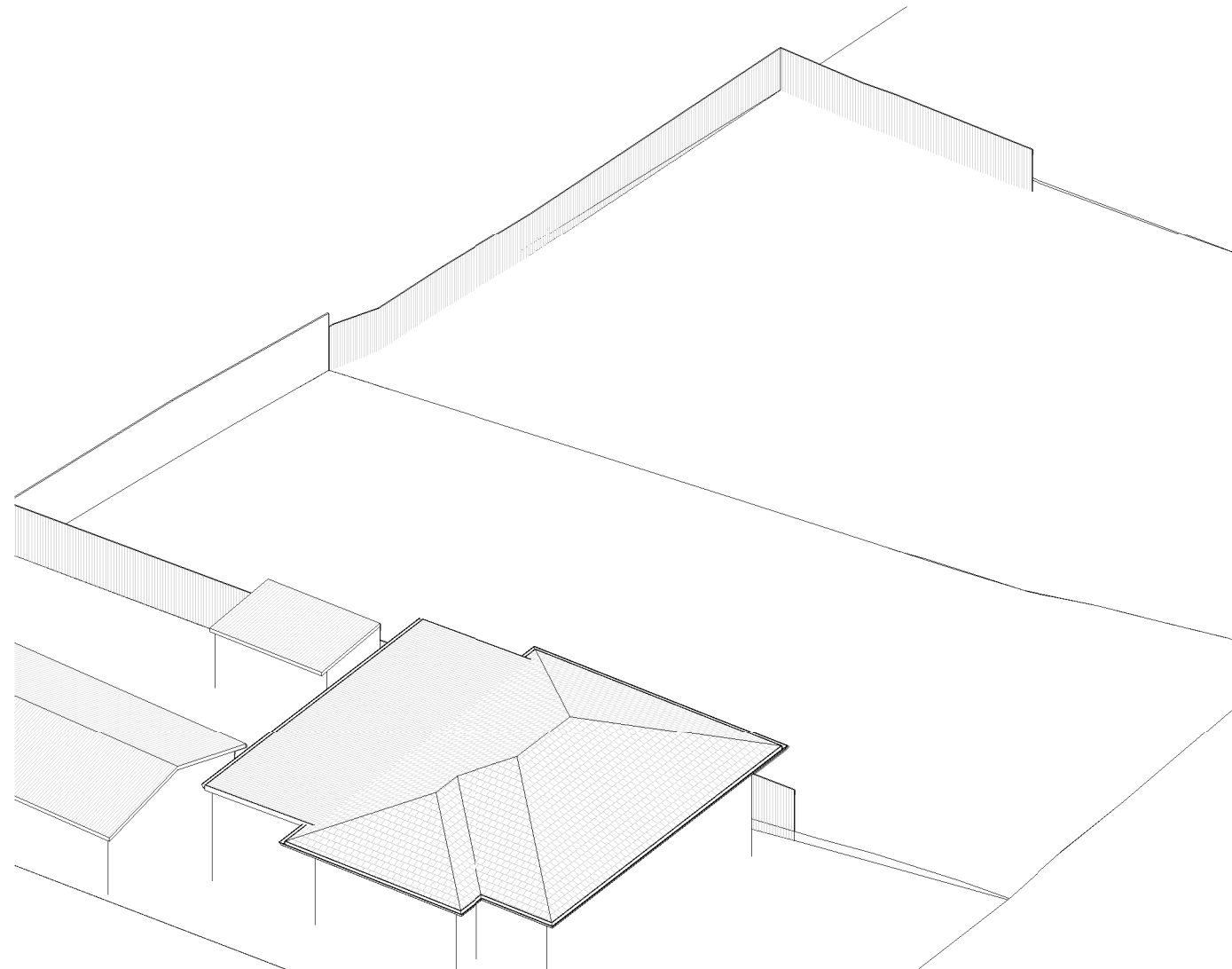
CLIENT: C/- ZMP ARCHITECTS

**3D Sun Views June 21st 11.00am**

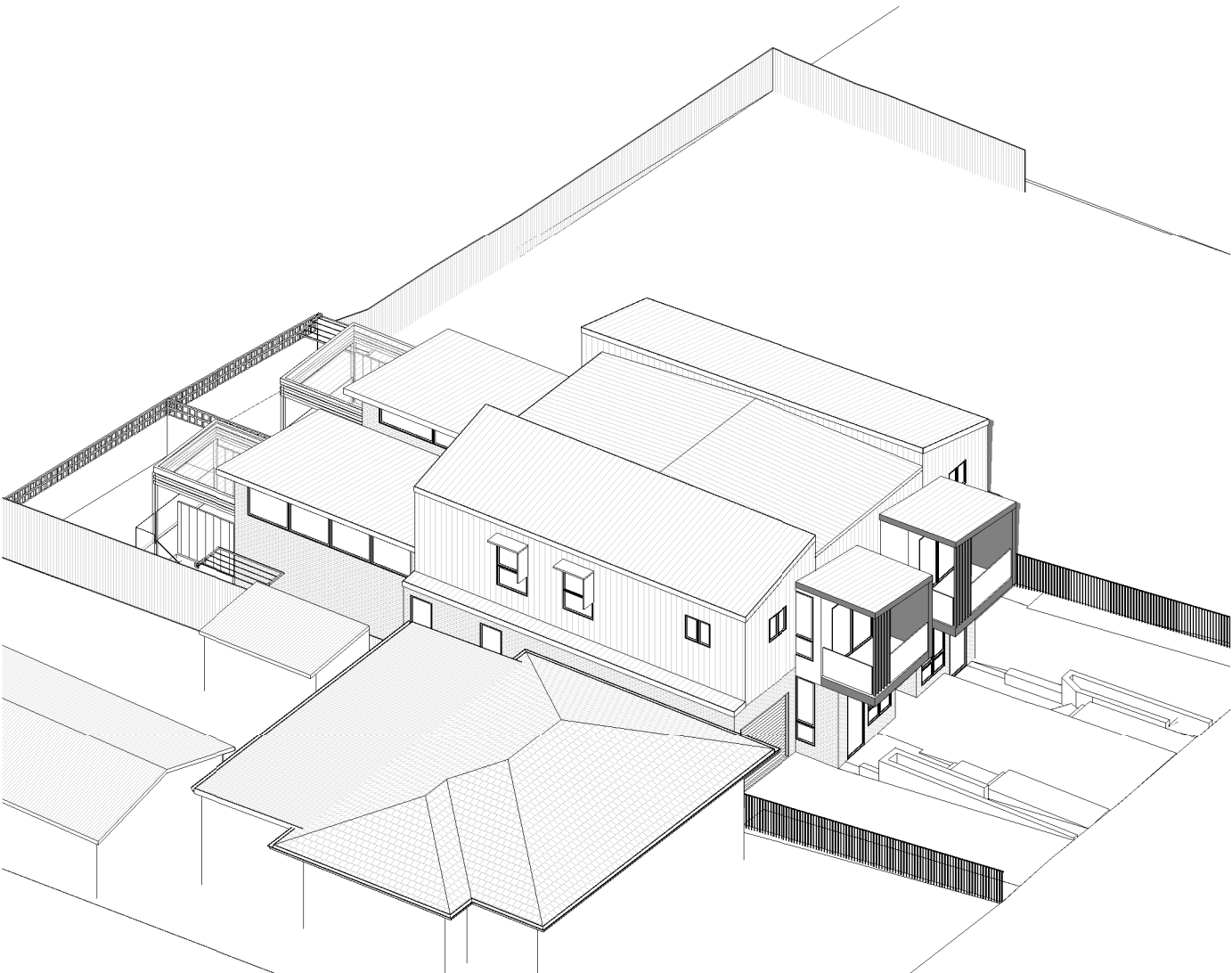
Project number	23-20
Date	3-4-23
Drawn by	KP
Checked by	JD

**A109**

Scale



June 21st 12.00pm Existing



June 21st 12.00pm Proposed

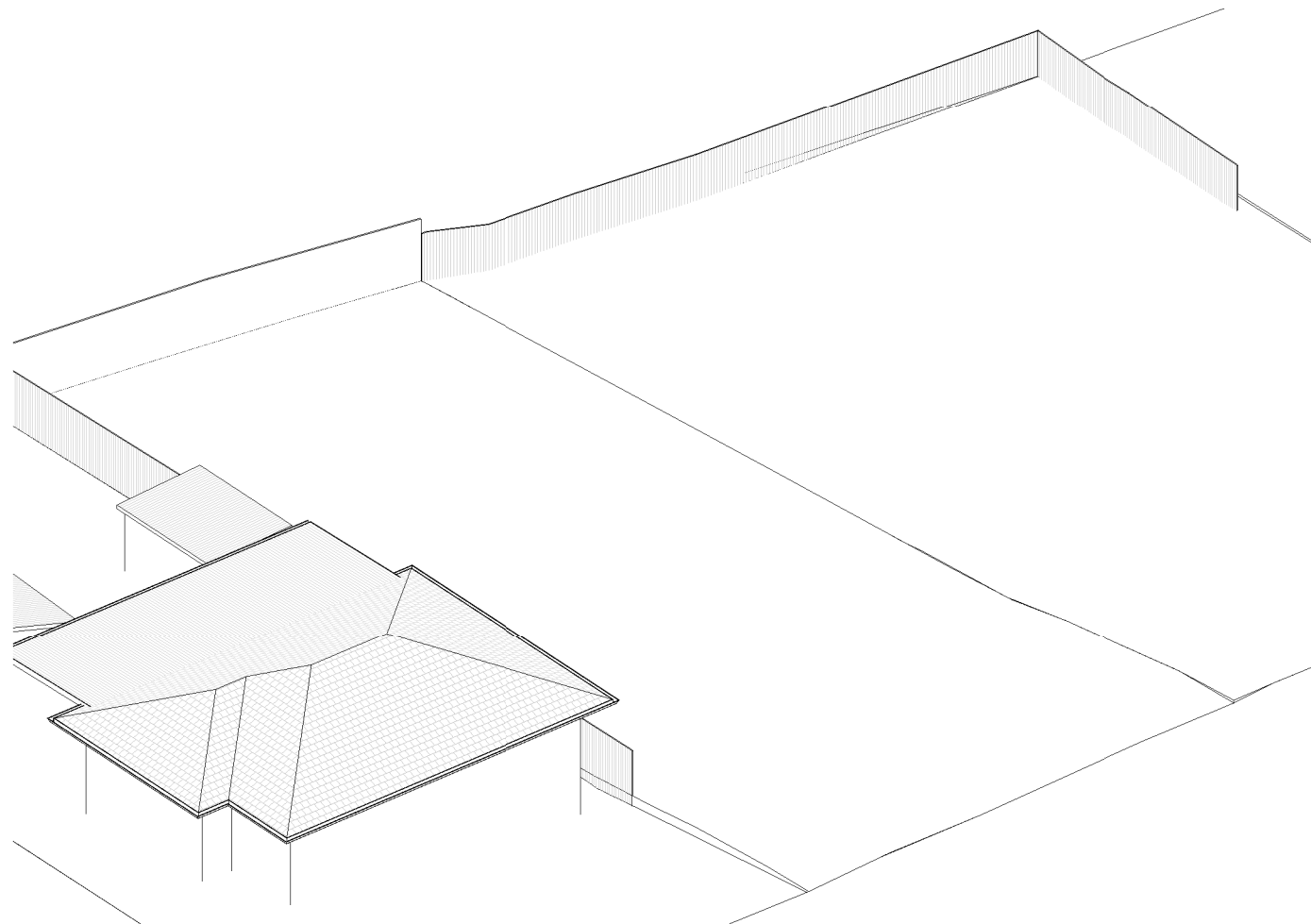
**Cad Draft P/L**  
 ABN 27 083 288 153  
 SUITE 1, 505 BALMAIN ROAD,  
 LILYFIELD, NSW  
 P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS  
 MOBILE: 0410 699919  
 info@caddraftnsw.com.au

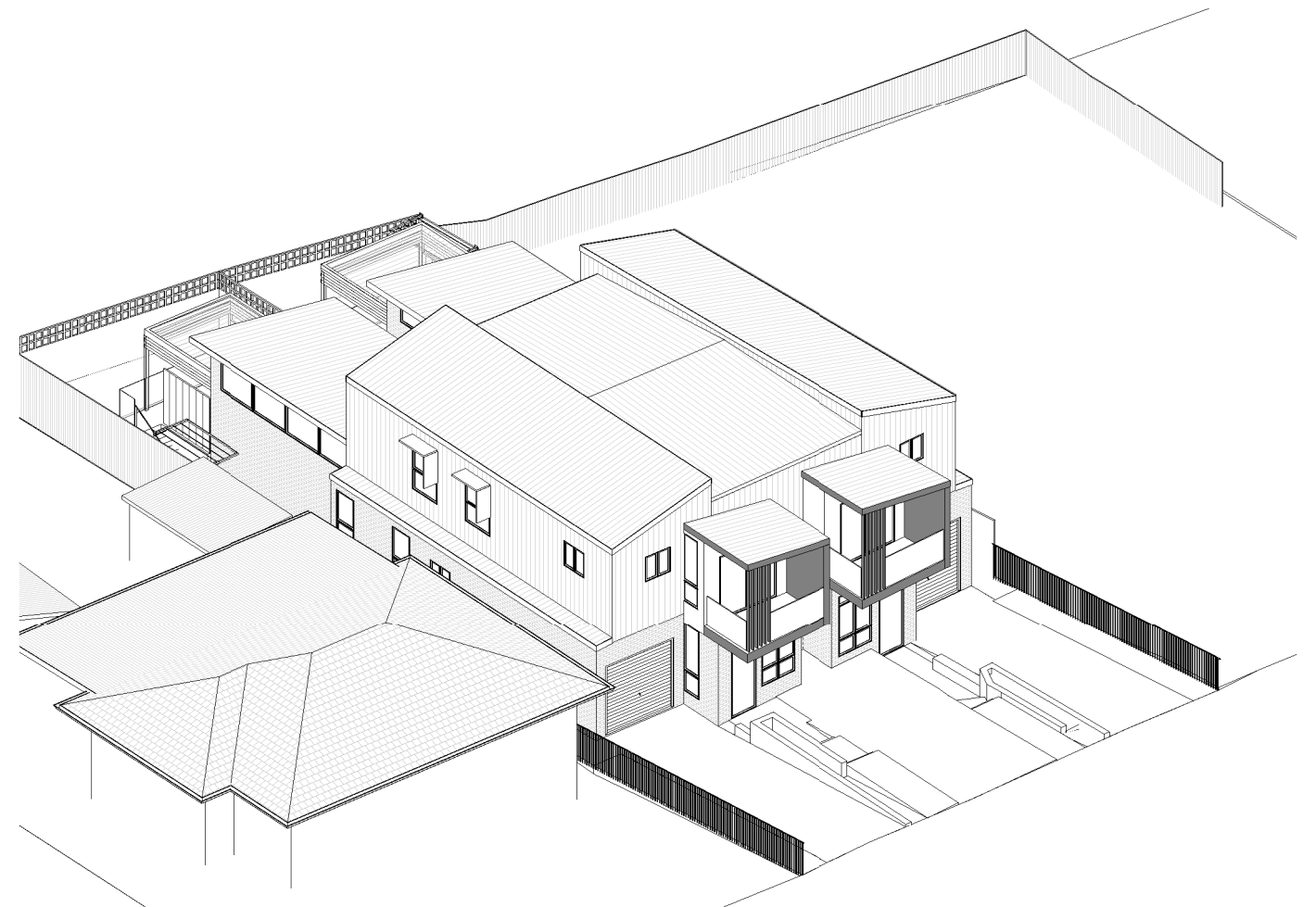
No.	Description	Date

SHADOW DIAGRAMS  
 DUAL OCCUPANCY  
 No. 44 CADAGA ROAD  
 GATESHEAD  
 CLIENT: C/- ZMP ARCHITECTS

3D Sun Views June 21st 12.00pm		
Project number	23-20	A110
Date	3-4-23	
Drawn by	KP	
Checked by	JD	
		Scale



**June 21st 1.00pm Existing**



**June 21st 1.00pm Proposed**

**Cad Draft P/L**

ABN 27 083 288 153

SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS

MOBILE: 0410 699919

info@caddraftnsw.com.au

No.	Description	Date

SHADOW DIAGRAMS  
DUAL OCCUPANCY  
No. 44 CADAGA ROAD  
GATESHEAD

CLIENT: C/- ZMP ARCHITECTS

**3D Sun Views June 21st 1.00pm**

Project number 23-20

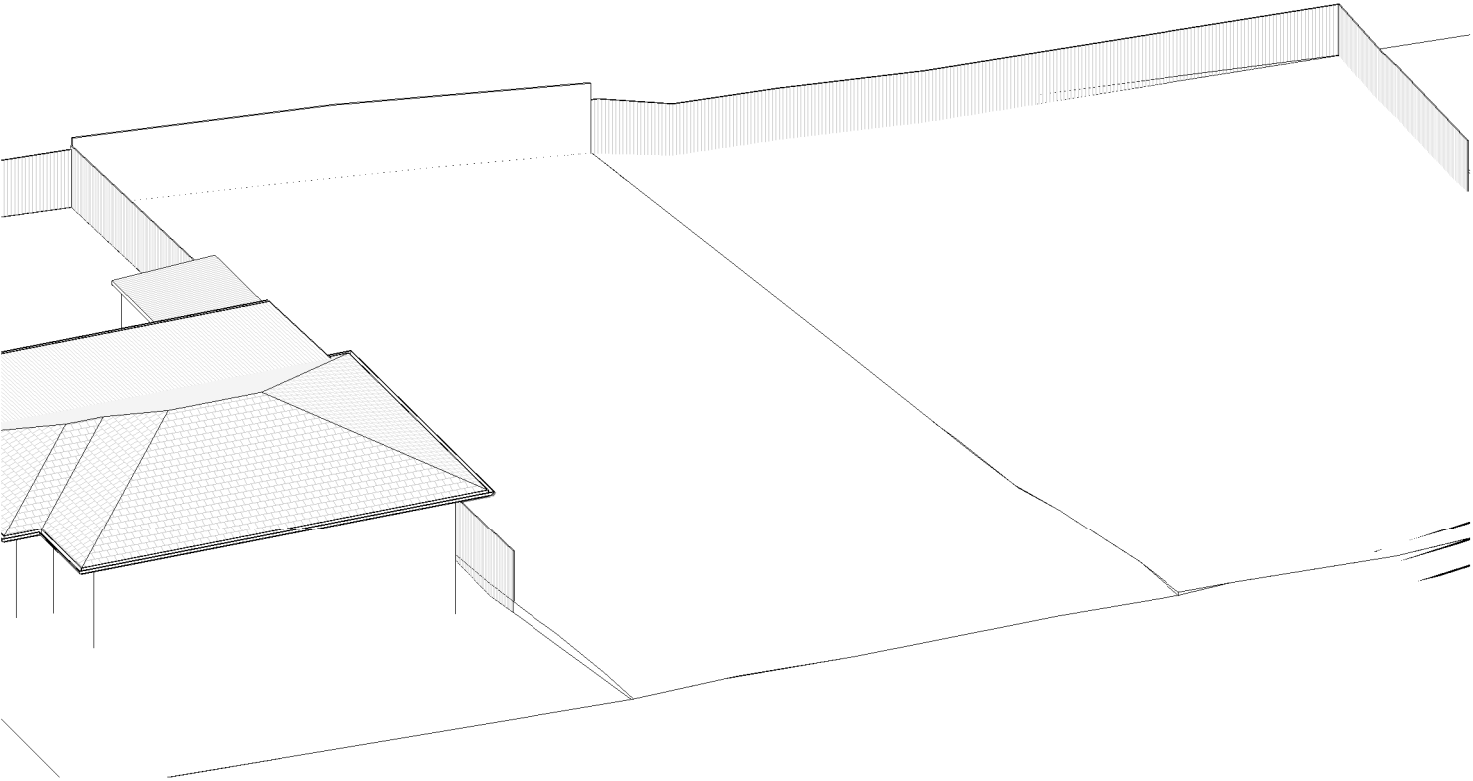
Date 3-4-23

Drawn by KP

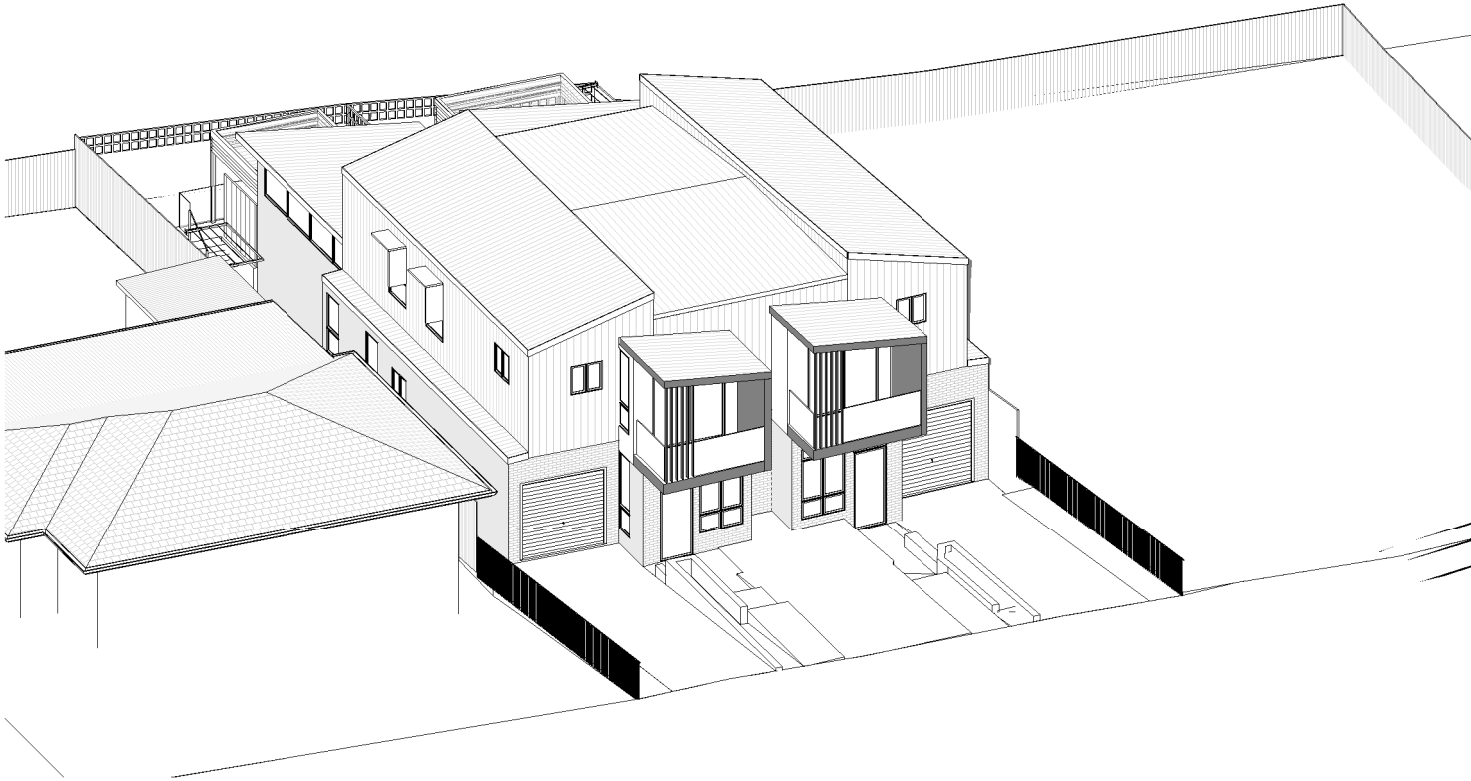
Checked by JD

Scale

**A111**



June 21st 2.00pm Existing



June 21st 2.00pm Proposed

**Cad Draft P/L**

ABN 27 083 288 153  
SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS  
MOBILE: 0410 699919  
info@caddraftnsw.com.au

No.	Description	Date

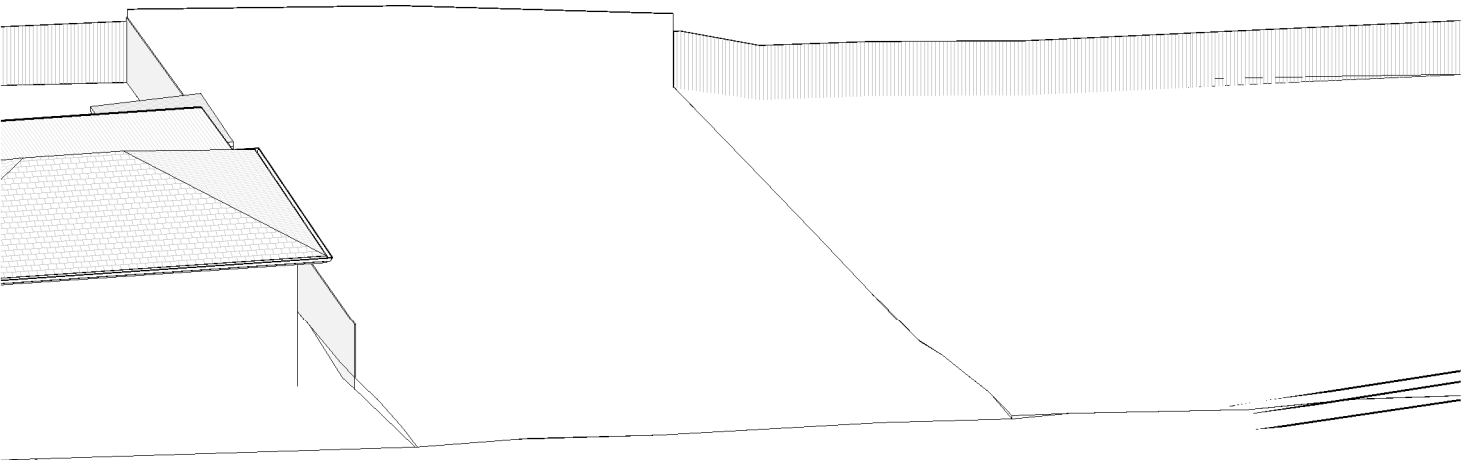
SHADOW DIAGRAMS  
DUAL OCCUPANCY  
No. 44 CADAGA ROAD  
GATESHEAD  
  
CLIENT: C/- ZMP ARCHITECTS

3D Sun Views June 21st 2.00pm

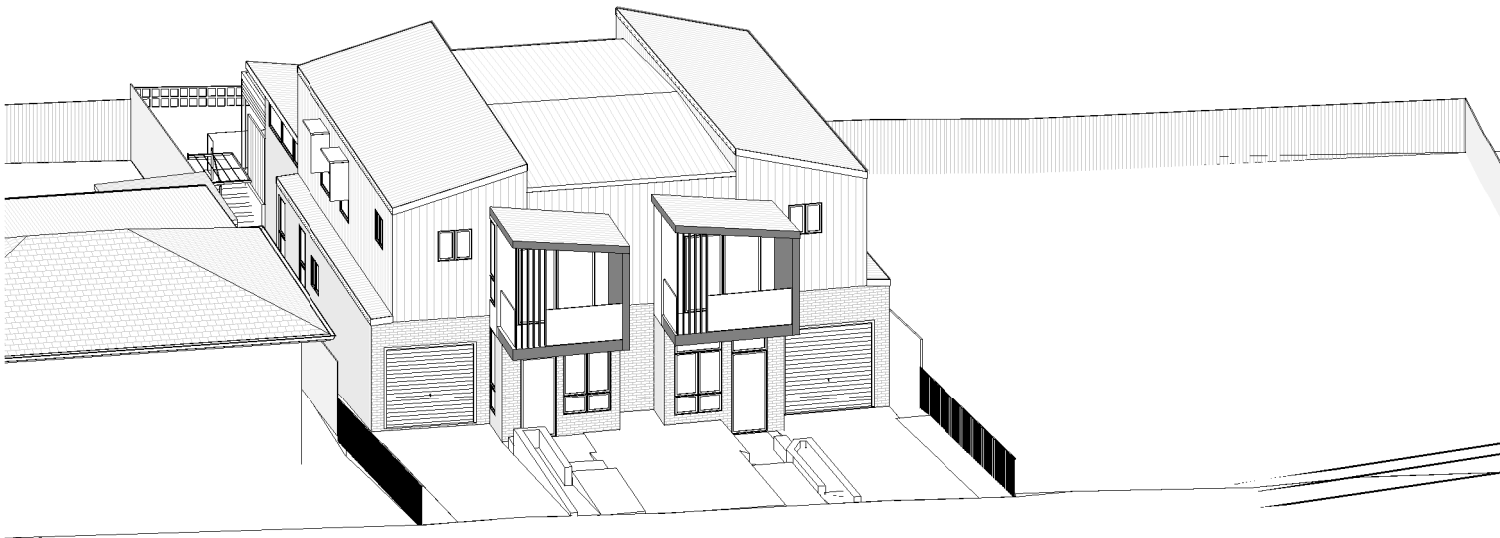
Project number	23-20
Date	3-4-23
Drawn by	KP
Checked by	JD

A112

Scale



June 21st 3.00pm Existing



June 21st 3.00pm Proposed

**Cad Draft P/L**

ABN 27 083 288 153  
SUITE 1, 505 BALMAIN ROAD,  
LILYFIELD, NSW  
P.O.BOX 446 GLADESVILLE 2111

SHADOW ANALYSIS CONSULTANTS  
MOBILE: 0410 699919  
info@caddraftnsw.com.au

No.	Description	Date

SHADOW DIAGRAMS  
DUAL OCCUPANCY  
No. 44 CADAGA ROAD  
GATESHEAD

CLIENT: C/- ZMP ARCHITECTS

3D Sun Views June 21st 3.00pm

Project number	23-20
Date	3-4-23
Drawn by	KP
Checked by	JD

A113	
Scale	